

Sheet List	
A.00	Cover Sheet
A.01	Site Plan
A.02	Floor Plan - Level 1
A.03	Electrical & Lighting Plan
A.04a	Room Layouts
A.04b	Room Layouts
A.05a	Elevations
A.05b	Elevations
A.06	Stump Setout & Subfloor Bracing
A.07	Floor Framing
A.08	Service Penetration Plan
A.09	Bracing & Tiedown Plan
A.10	Typical Framing Details and Schedules
A.11	Typical Framing Details and Schedules
A.12a	Typical Framing Details
A.12b	Typical Wall Sections
A.12c	Typical Framing Details
A.12d	Typical Framing Details
A.13	Roof Bracing Plan
A.14	Roof Drainage Plan

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**DRAWN BY:**  
**PAM CARSBURG**  
**CHECKED BY:**  
**DAVID WESTERMAN**

**SCALE:**  
**@ A3**

**CLIENT:**  
**TED & YVONNE MOFFAT**

**PROJECT:**  
**Proposed - Residence**

**PROJECT LOCATION:**  
**13212 GWYDIR HIGHWAY,  
WARIALDA NSW 2402**

**JOB NO:**  
**B221**

**DRAWING TITLE:**  
**Cover Sheet**

**DRAWING NO:** A.00      **ISSUE:** A



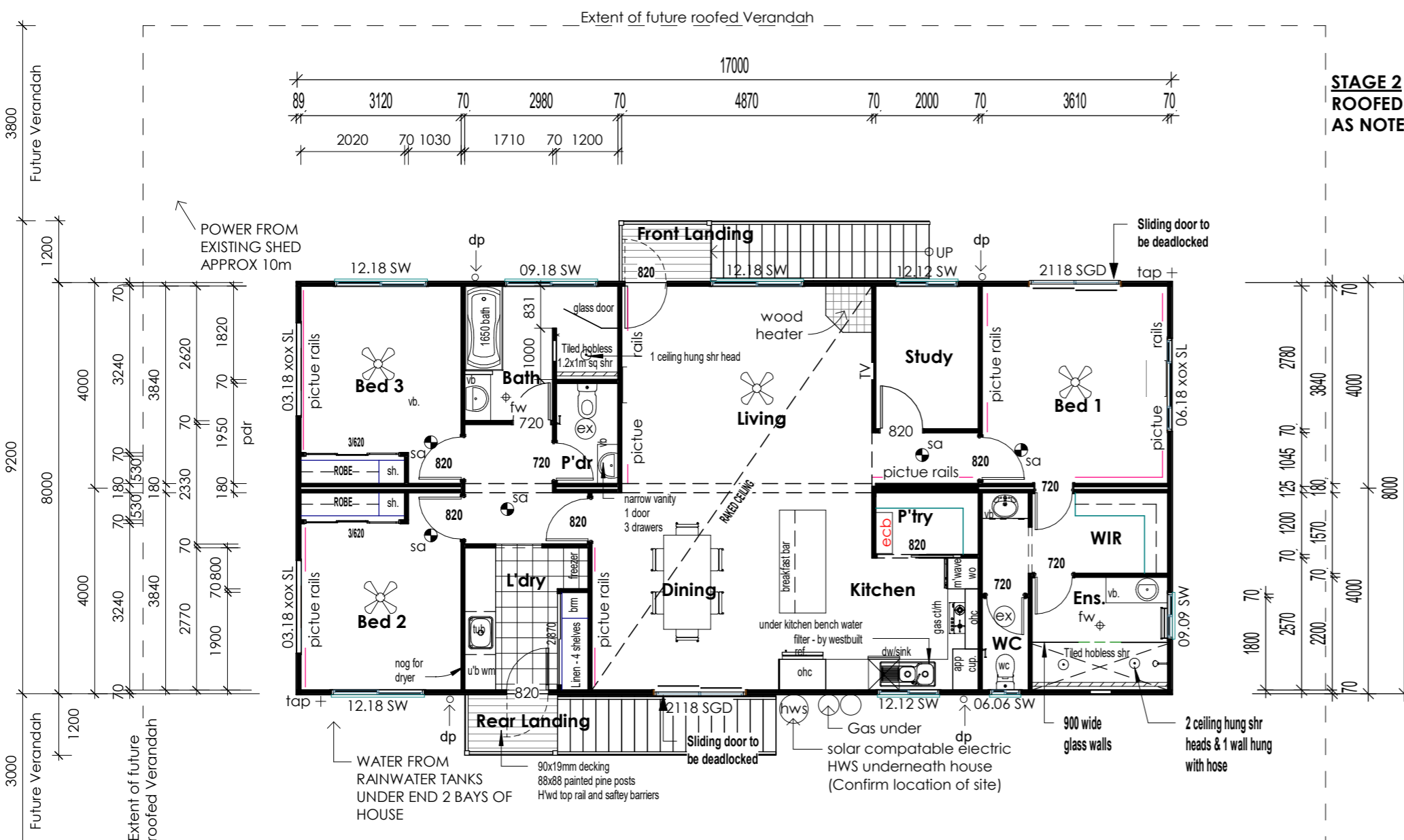
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W: www.westbuilt.net.au

Project: ***Proposed – Residence***

Client: ***TED & YVONNE MOFFAT***

Address: ***13212 GWYDIR HIGHWAY, WARIALDA NSW 2402***

Property: ***Lot 1 /DP220933***



**STAGE 2  
ROOFED VERANDAH  
AS NOTED**

- LEGEND**
- Suggested location of Electrical Meter Box
  - Photoelectric Smoke Alarm (AS 3786-2014)
  - Indicates suggested location of Gas / Electric Heat Pump hot water system. Confirm on site.
  - Indicates suggested location of gas connection point.
  - Indicates suggested location of continuous flow Gas / Electric hot water system. Confirm on site.
  - Indicates suggested location of gas cylinders.
  - Indicates location of tap. Confirm location on site.
  - Indicates location of proposed downpipes.
  - Indicates proposed location of air condensor unit. Confirm position on site.
  - Indicates proposed location mechanical exhaust fan. Duct to eaves.
  - Indicates proposed location of 3 in 1 TASTIC.
  - Indicates proposed location of ceiling fan. Minimum 900mm diameter.

**NOTES:**

All plumbing fixtures and installations including pressure limiting devices, hot water systems and dual flush toilet suites to be WELS rated in accordance with AS/NZ 6400 - 2005 & AS 3500, and in compliance with Part 4.1 of the Queensland Development Code (QDC).

All wet areas are to be waterproofed in accordance with Clause 3.8.1, Vol 2 of the NCC.

All glazing is to be installed in accordance with Clause 3.6, Vol 2 of the NCC.

Stairways are to be installed in accordance with Clause 3.9.1, Vol 2 of the NCC.

Stair treads - A surface or nosing strip with a non-slip classification in accordance with AS 4586.

Barriers and handrails are to be installed to comply with Clause 3.9.2, Vol 2 of the NCC.

Confirm all dimensions and design information on site prior to commencement of work.

ISSUE	AMENDMENT	DATE
A	Original Issue	11.06.2019
B	Revision 2	19.06.2019
C	Revision 3	06.08.2019
D	Revision 4, add & changes windows, pdr vanity	08.08.2019
E	Issue for Construction	30.08.2019

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**DRAWING TITLE:**  
Floor Plan - Level 1

**DRAWING NO:** A.02 **ISSUE:** E



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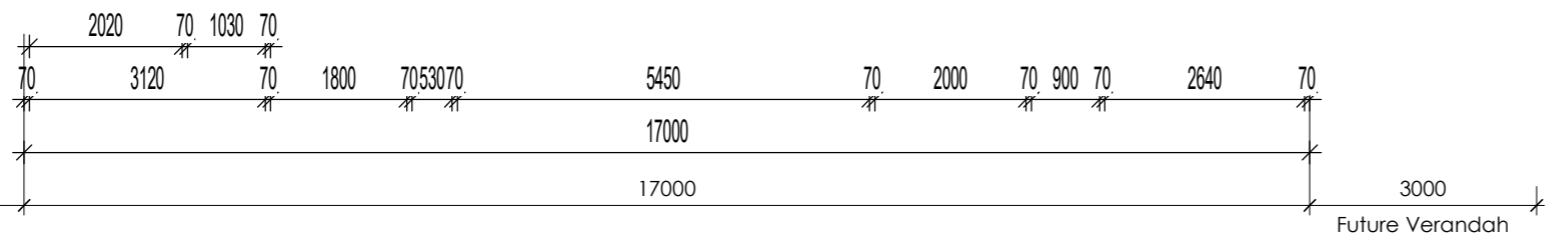
Gross Building Area		
Name	Area (m <sup>2</sup> )	Squares (SQ)
L1.F.F.Level		
Front Landing	1.8 m <sup>2</sup>	0.19
Living	137.0 m <sup>2</sup>	14.74
Rear landing	1.9 m <sup>2</sup>	0.21
	140.7 m <sup>2</sup>	15.14
Grand total	140.7 m <sup>2</sup>	15.14

**Signatures**

Owner(s): .....































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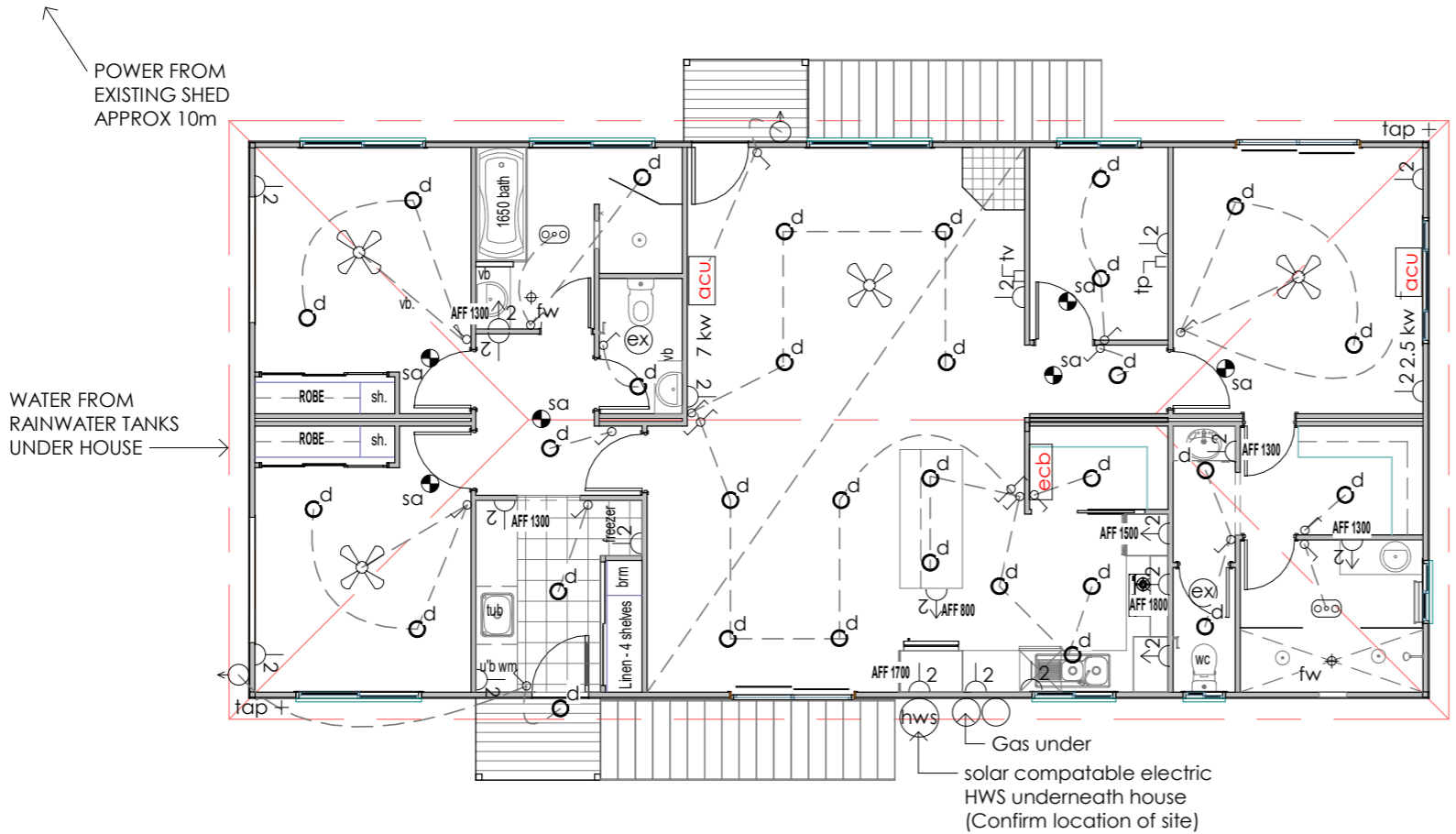
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**Plan**  
Floor Plan - Level 1 1 : 100

**ELECTRICAL PLAN SYMBOLS**

-  Electrical Meter Box
-  Electrical Circuit Breaker Box
-  Single Power Outlet
-  Weatherproof Double Power Outlet
-  Double Power Outlet - 300AFL
-  Double Power Outlet - Nominated height
-  Quad Power Outlet
-  Power Switch
-  Two-Way Switch
-  Switch with Dimmer
-  Pendant Light Fixture
-  Ceiling Light Fixture
-  Wall Mounted Light Fixture
-  Single Fluorescent Light
-  Double Fluorescent Light
-  Circular Fluorescent Light
-  Flood Light
-  Twin Flood Light
-  Twin Flood Light with Sensor
-  Downlight
-  Exhaust Fan
-  Exhaust Fan / Light
-  3 in 1 Tastic
-  Smoke Alarm
-  Wall Mounted Air Conditioner
-  Telephone Socket
-  Ceiling Fan / Light
-  Ceiling Fan
-  Gas Outlet
-  Gas Cylinders



**Plan**  
Ground Level Electrical & Lighting 1 : 100

**NOTES**

This proposed electrical and lighting plan is to be completed by building owner in collaboration with the builder using symbols provided.

The builder and electrical sub-contractor must confirm the proposed meets the requirements of Part 3.12.5, Vol 2 of the NCC - in particular energy efficiency of artificial lighting - and consult with the building owner where changes may be required. The illumination power density of artificial lighting must not exceed the allowance of:

- A. 5W/m<sup>2</sup> in a Class 1 building; and,
- B. 4W/m<sup>2</sup> on a verandah, balcony or the like attached to a Class 1 building; and,
- C. 3W/m<sup>2</sup> in a Class 10a building associated with a Class 1 building.

The above allowances may vary for lighting with a control device per Part 3.12.5.5 (b), Vol 2 of the NCC.

Downlights must have fireproof covers which can be fully covered by insulation. Downlights other than the above may compromise the Energy Rating for this project.

All plumbing fixtures and installations including pressure limiting devices, hot water systems and dual flush toilet suites to be WELS rated in accordance with AS/NZ6400 - 2005, AS3500, and meet compliance with part MP 4.1 of the Queensland Development Code (QDC).

- Shower rose and tapware - to be 3 Star WELS rated;
- Toilet suites - to be 4 Star WELS rated.

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**SCALE:**  
**1 : 100 @ A3**

**CLIENT:**  
**TED & YVONNE MOFFAT**

**PROJECT:**  
**Proposed - Residence**

**PROJECT LOCATION:**  
**13212 GWYDIR HIGHWAY,  
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**JOB NO:**  
**B221**

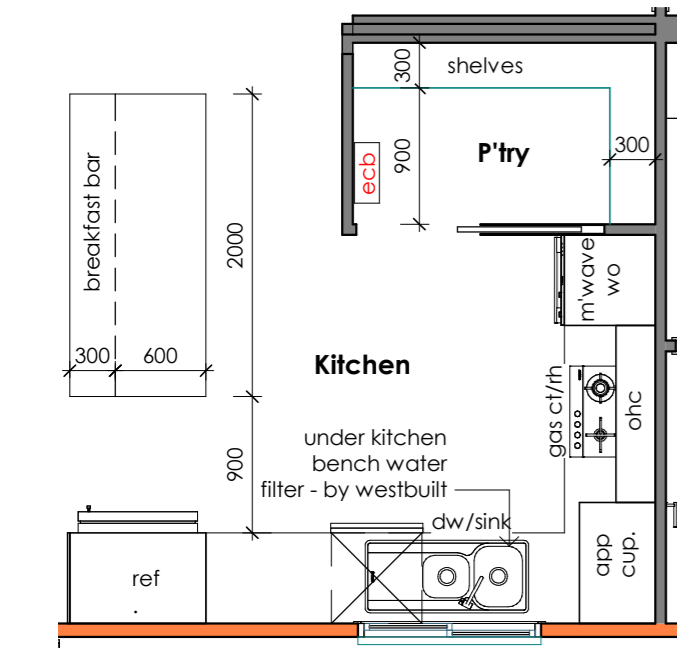
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**Electrical & Lighting Plan**

**DRAWING NO:** A.03 **ISSUE:** A

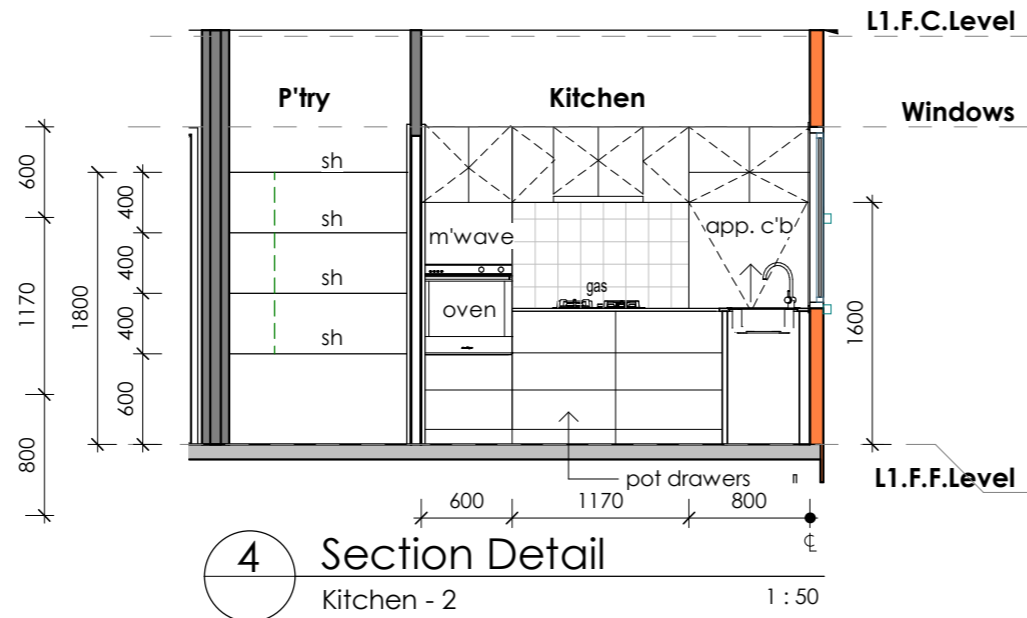


Signatures	
Owner(s): .....	
Builder: .....	
Date: .....	

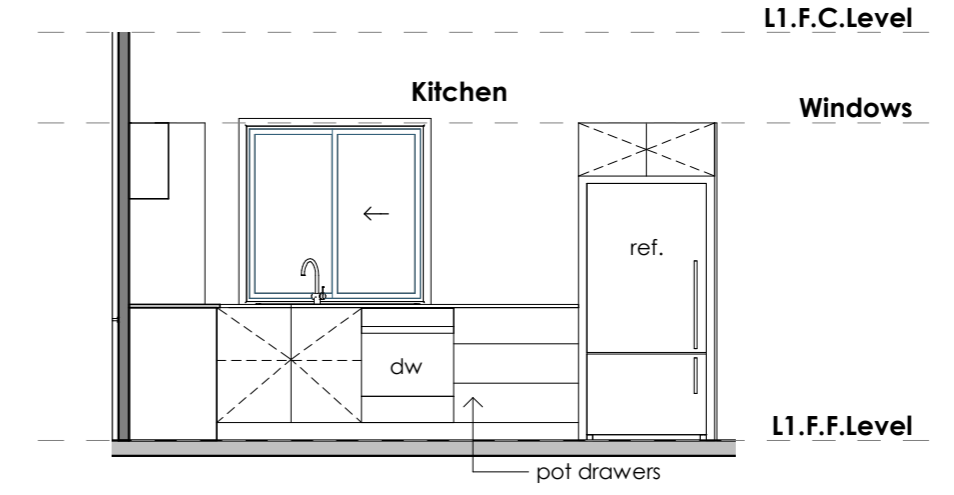
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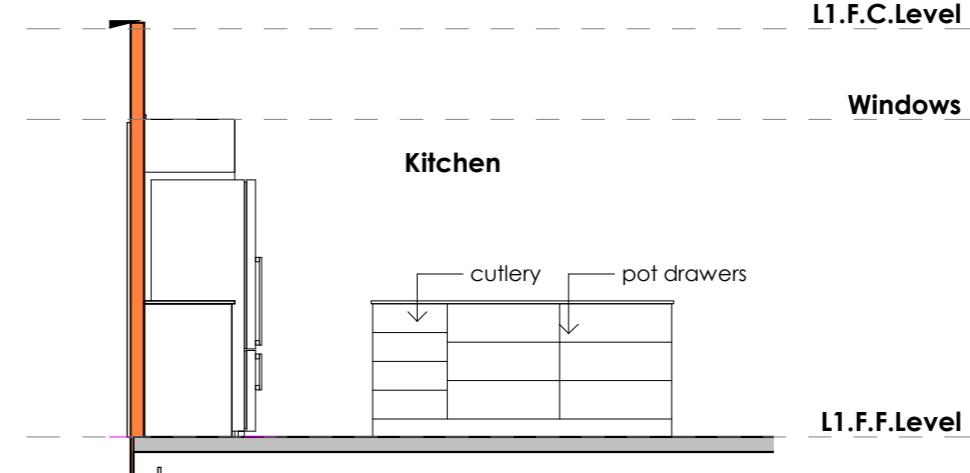
**1** Plan Detail  
Callout - kitchen  
1 : 50



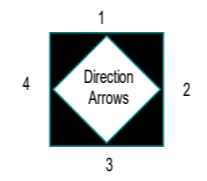
**4** Section Detail  
Kitchen - 2  
1 : 50



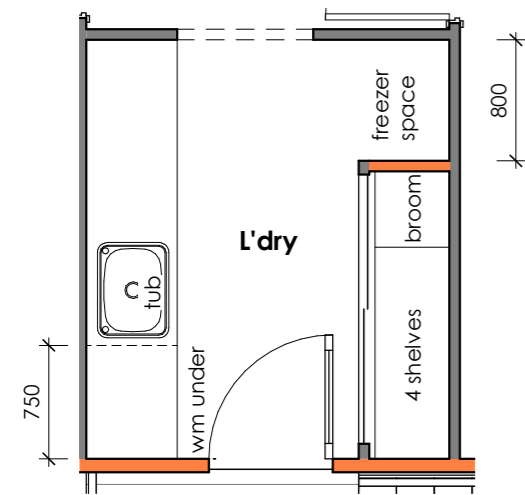
**5** Section Detail  
Kitchen - 3  
1 : 50



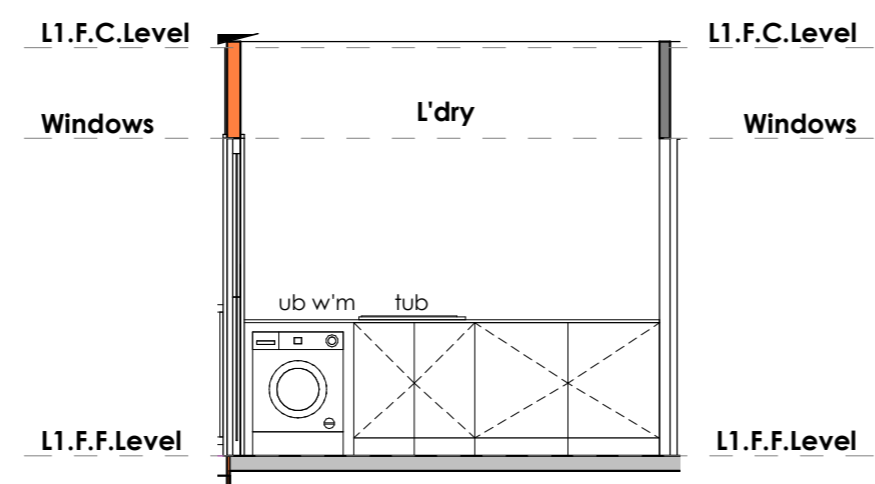
**6** Section Detail  
Kitchen 4  
1 : 50



**NOTE:**  
Refer to specifications for exact tiling pattern



**2** Plan Detail  
Callout - laundry  
1 : 50



**7** Section Detail  
Laundry - 4  
1 : 50

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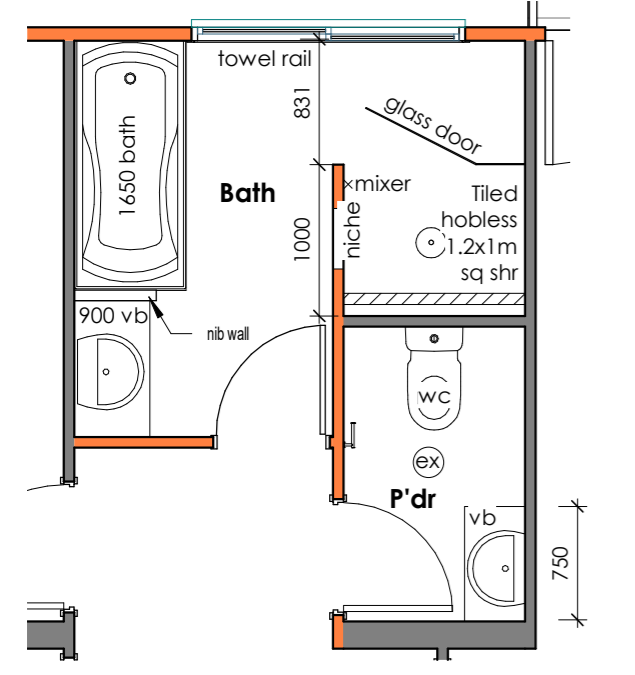
**DRAWING TITLE:**  
Room Layouts

**DRAWING NO:** A.04a  
**ISSUE:** B



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Builder:	.....
Date:	.....

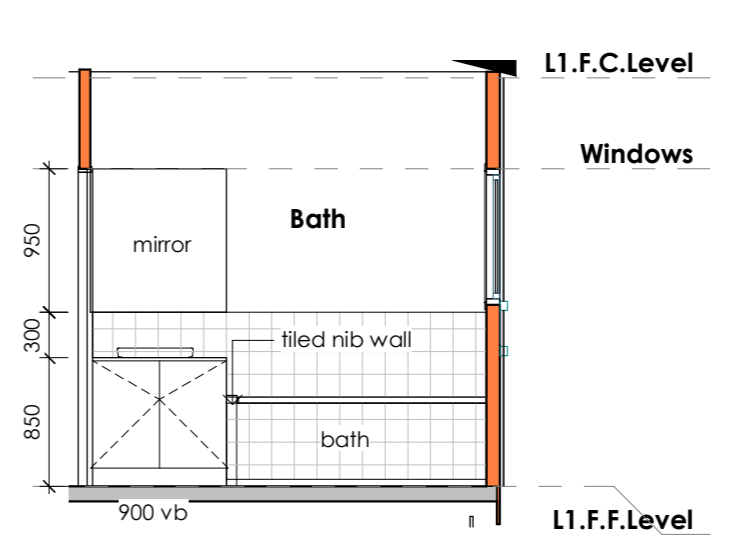
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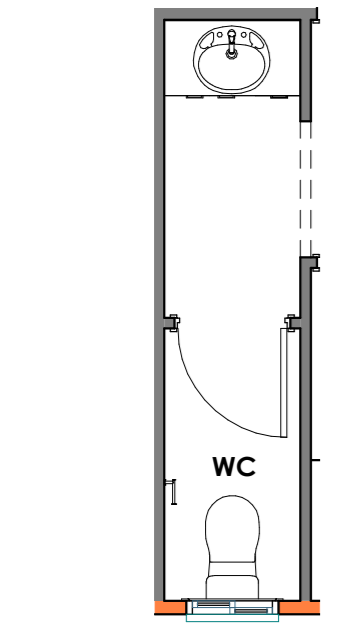
**1** Plan Detail  
Callout - bath pdr 1 : 50



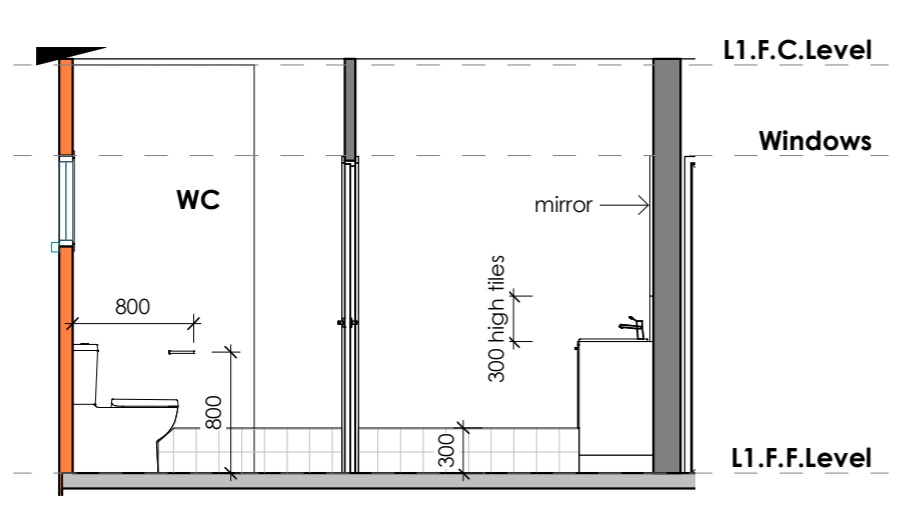
**4** Section Detail  
Bath - 2 1 : 50



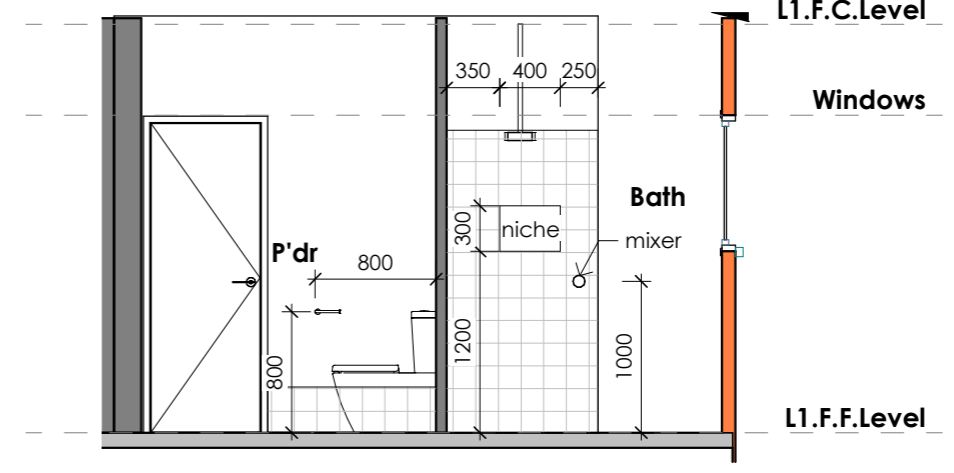
**5** Section Detail  
Bath - 4 1 : 50



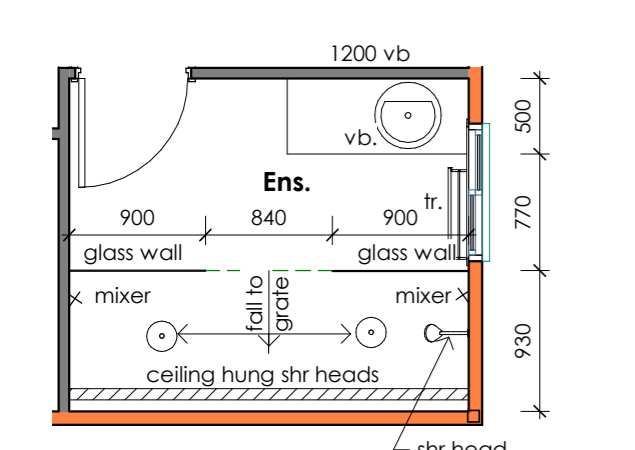
**3** Plan Detail  
Callout - wc 1 : 50



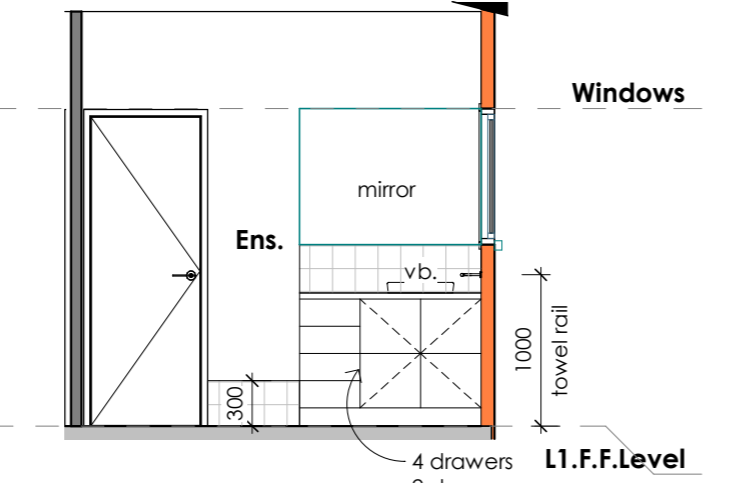
**9** Section Detail  
wc - 4 1 : 50



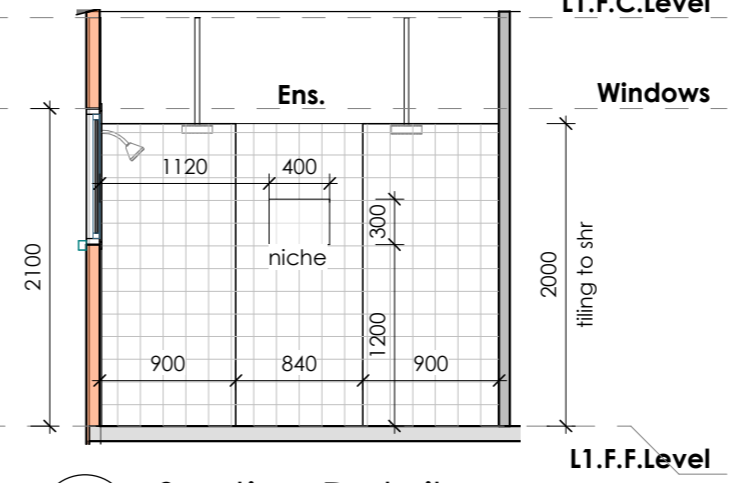
**6** Section Detail  
Bath/pdr - 4 1 : 50



**2** Plan Detail  
Callout - ens 1 : 50



**7** Section Detail  
Ens - 1 1 : 50



**8** Section Detail  
Ens - 3 1 : 50

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**SCALE:**  
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**CLIENT:**  
TED & YVONNE MOFFAT

**PROJECT:**  
Proposed - Residence

**PROJECT LOCATION:**  
13212 GWYDIR HIGHWAY,  
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**JOB NO:**  
B221

**DRAWING TITLE:**  
Room Layouts

**DRAWING NO:** A.04b **ISSUE:** B



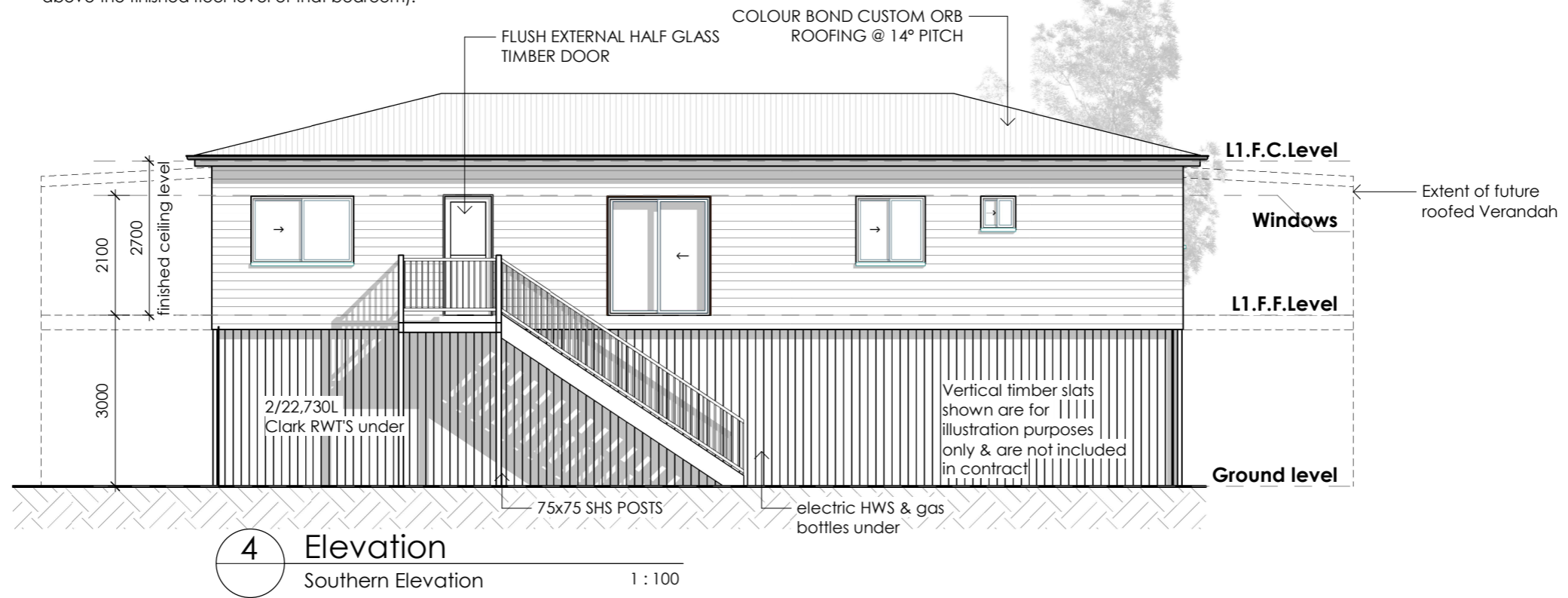
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Builder:	.....
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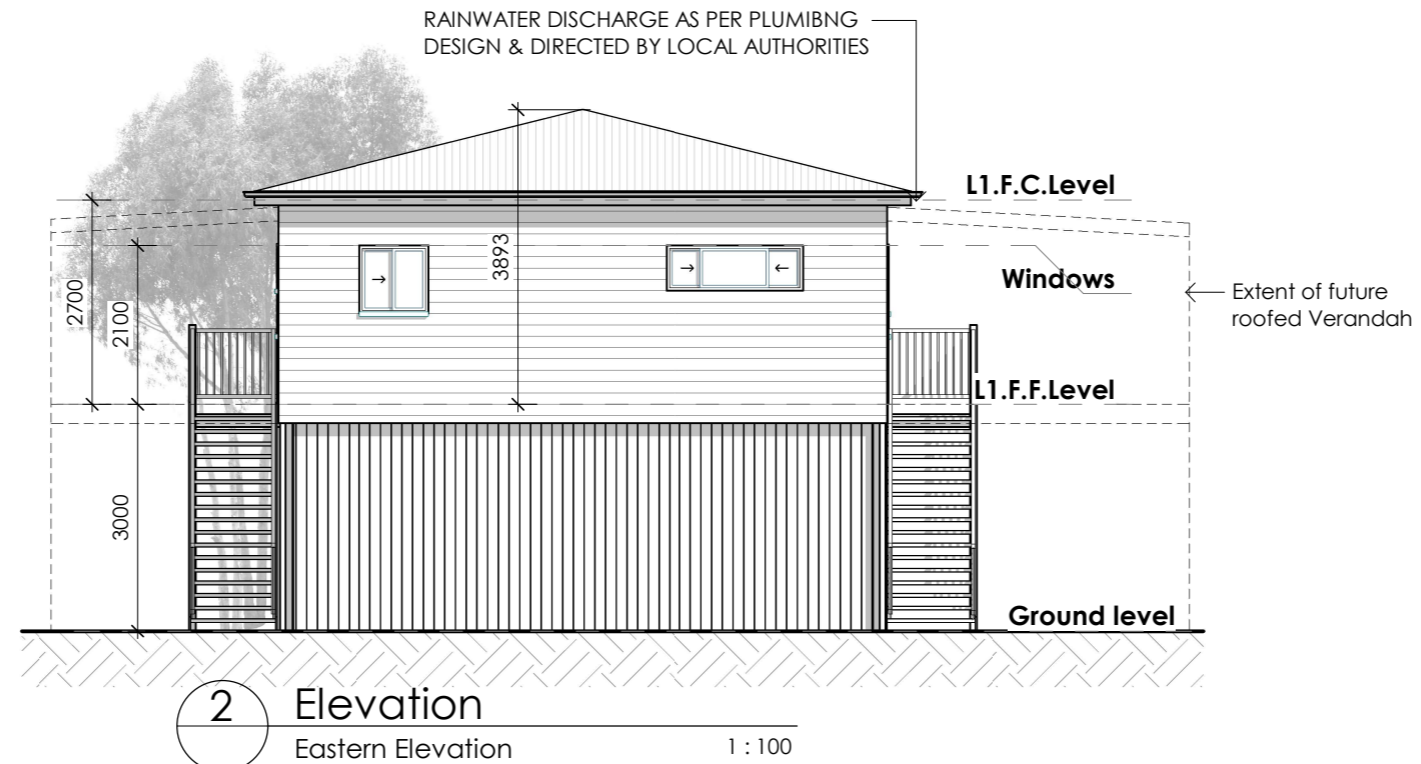
G.F.F.Level - Denotes Finished Floor Level (FFL)  
 G.F.C.Level - Denotes Finished Ceiling Level (FCL)

**PROTECTION OF OPENABLE WINDOWS**

Protection of openable windows to be in compliance with Part 3.9.2.5, Vol 2 of the NCC. A window opening in any bedroom must be provided with protection if the window is 2m or more above the surface beneath (Unless the lowest level of the window opening is more than 1.7m above the finished floor level of that bedroom).



**4** Elevation  
 Southern Elevation 1 : 100



**2** Elevation  
 Eastern Elevation 1 : 100

ISSUE	AMENDMENT	DATE
A	Original Issue	11.06.2019
B	Revision 2	19.06.2019
C	Revision 3	06.08.2019
D	Revision 4, add & changes windows, pdr vanity	08.08.2019
E	Issue for Construction	30.08.2019

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**JOB NO:**  
**B221**

**DRAWING TITLE:**  
**Elevations**

**DRAWING NO:** A.05a **ISSUE:** E



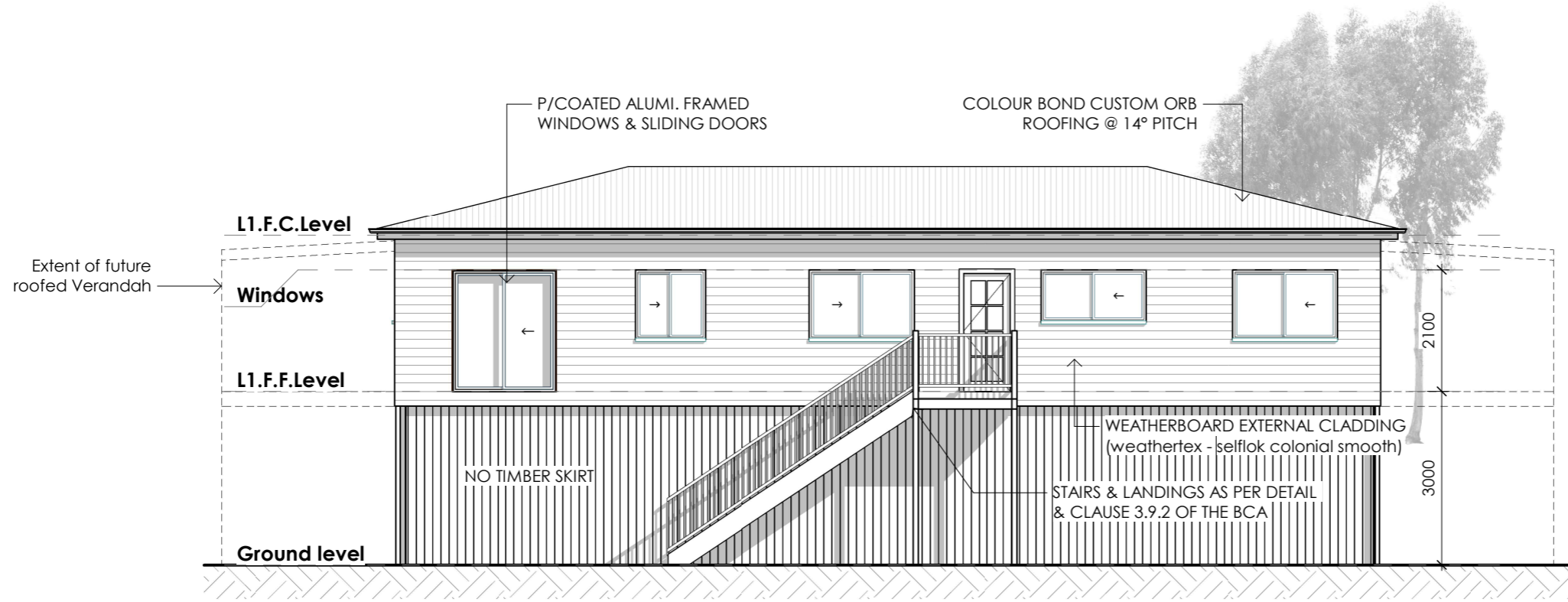
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Builder: .....

Date: .....

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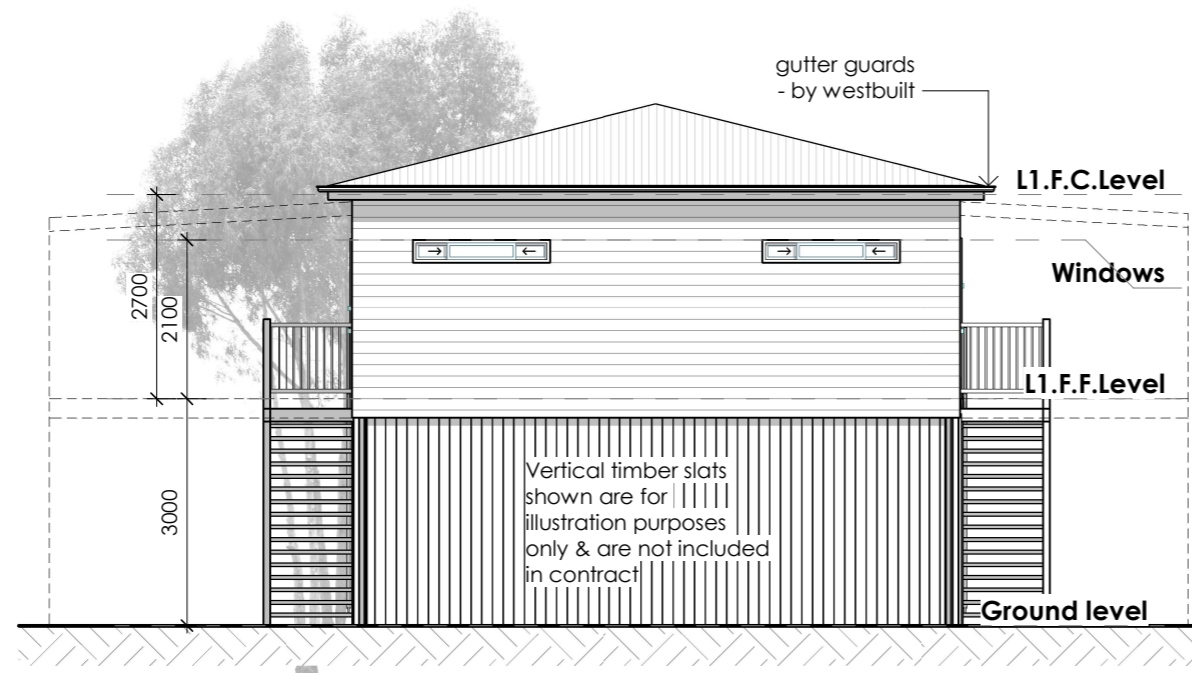


**1** Elevation  
 Northern Elevation 1 : 100

Stairways are to be installed in accordance with Clause 3.9.1, Vol 2 of the NCC.

Stair treads - A surface or nosing strip with a non-slip classification in accordance with AS 4586.

Barriers and handrails are to be installed to comply with Clause 3.9.2, Vol 2 of the NCC.



**2** Elevation  
 Western Elevation 1 : 100

**PROTECTION OF OPENABLE WINDOWS**

Protection of openable windows to be in compliance with Part 3.9.2.5, Vol 2 of the NCC. A window opening in any bedroom must be provided with protection if the window is 2m or more above the surface beneath (Unless the lowest level of the window opening is more than 1.7m above the finished floor level of that bedroom).

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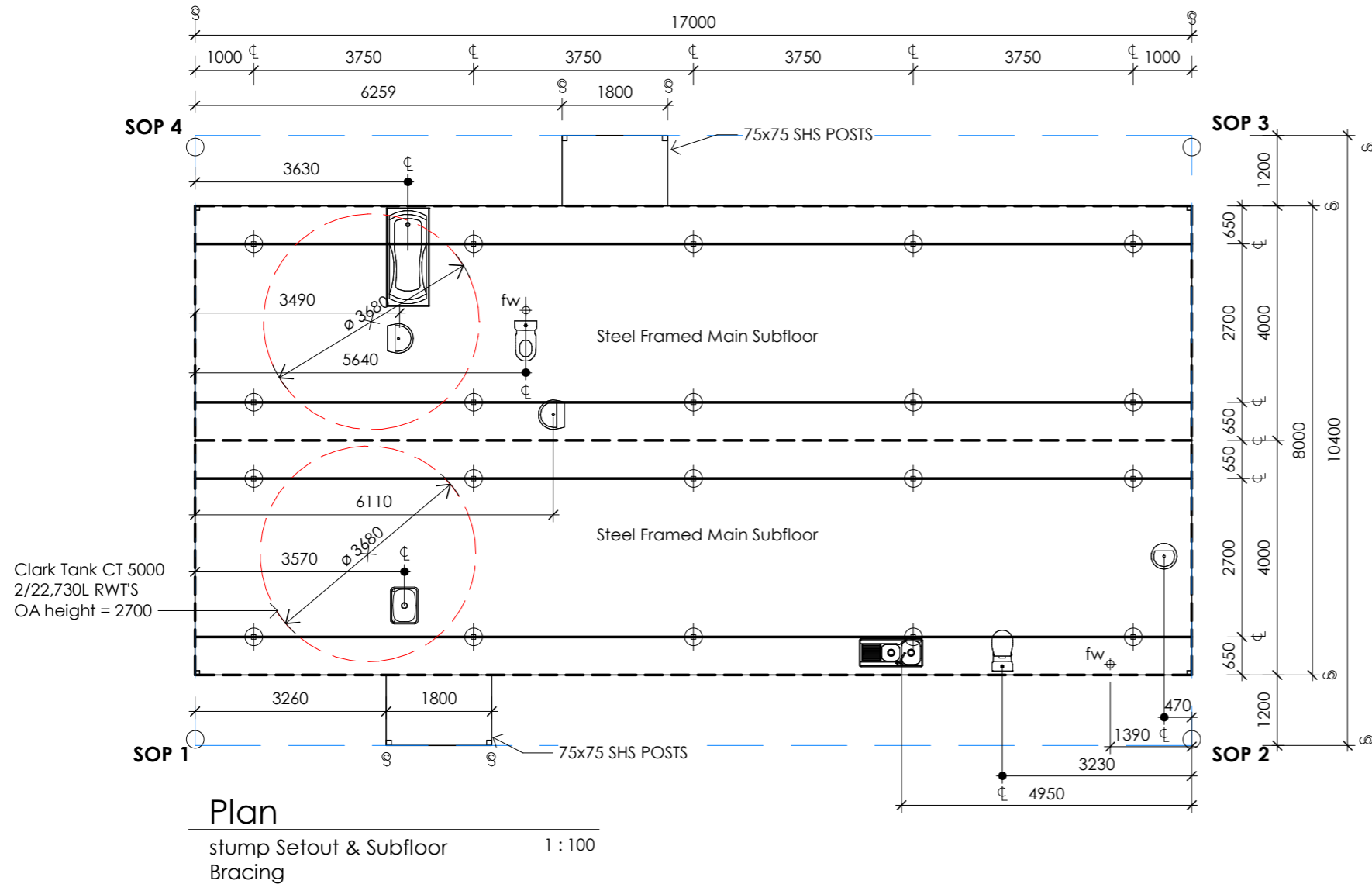
**PROJECT LOCATION:**  
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 WARIALDA NSW 2402

**JOB NO:**  
 B221

**DRAWING TITLE:**  
 Elevations

**DRAWING NO:** A.05b **ISSUE:** A





**FLOOR SYSTEM NOTES:**

Bearers and joists sized from AS1684.2  
 Steel Bearers & Joists sized by registered engineer  
 Diagonal distance from SOP 1 to SOP 3 = 19,774mm.

**FLOOR SYSTEM SYMBOLS**

- ⊕ denotes location of steel SHS stump set in concrete footing to engineers detail.
- ⊕ denotes dimension to centre line
- ⊕ denotes dimension to outside face

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**JOB NO:**  
 B221

**DRAWING TITLE:**  
 Stump Setout & Subfloor Bracing

**DRAWING NO:** A.06 **ISSUE:** A



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Owner(s): .....	
Builder: .....	
Date: .....	



FLOOR FRAMING SCHEDULE STEEL (JOISTS)		
MARK	TYPE	COMMENTS
SJ1	100x50x1.6 RHS	JOISTS @ 600 CTS
SJ2	100x50x1.6 RHS	JOISTS @ 450 CTS (VERANDAH)
SJ3	50x100x1.6 RHS	JOISTS @ 600 CTS (WET AREA)
FLOOR FRAMING SCHEDULE TIMBER (JOISTS)		
TJ1	140 X 45MM MGP10	JOISTS @ 450 CTS (VERANDAH)

**FLOOR SYSTEM NOTES:**

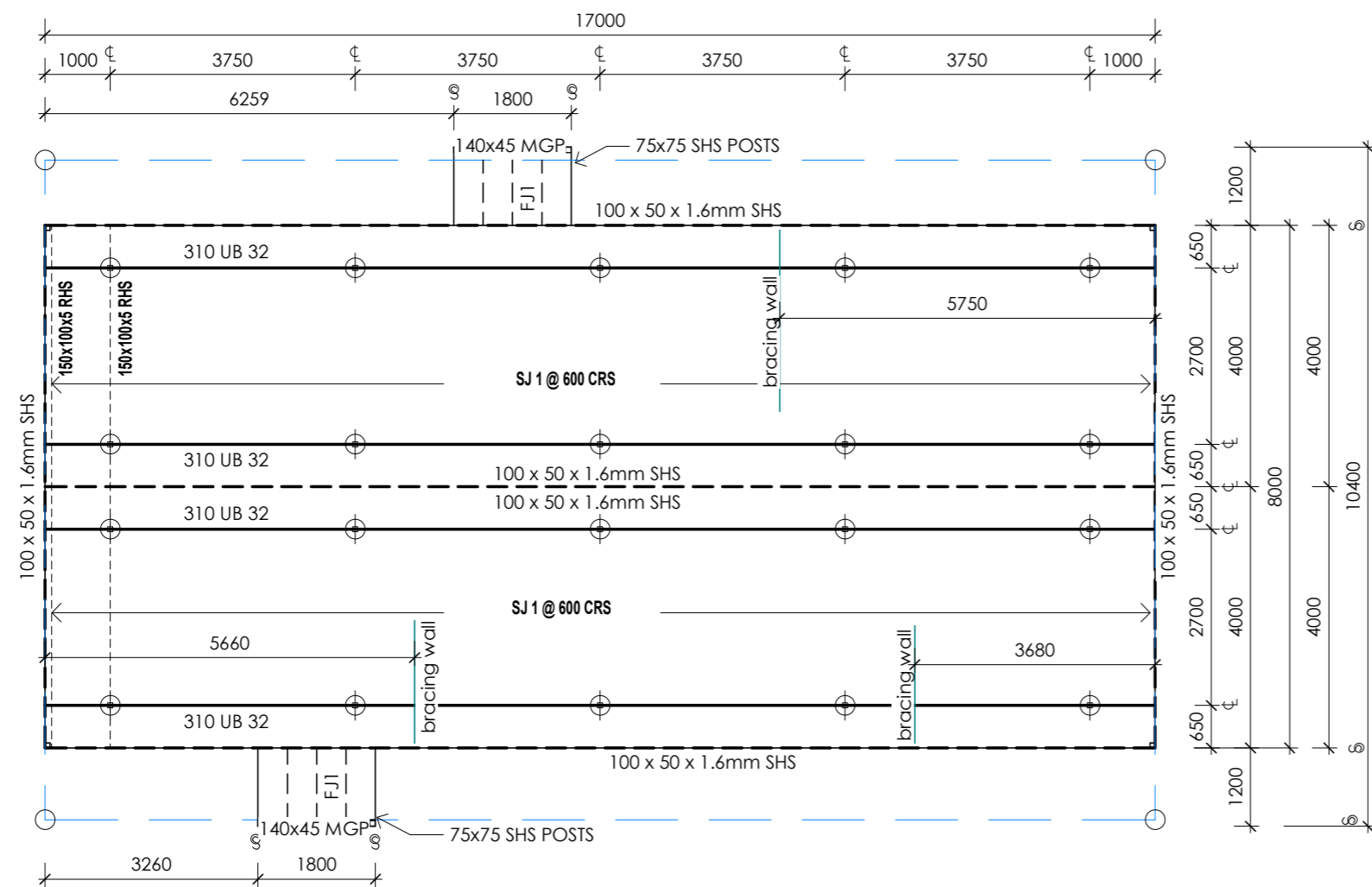
Bearers and joists sized from AS1684.2

Steel Bearers & Joists sized by registered engineer

Diagonal distance from SOP 1 to SOP 3 = 19,774mm.

**FLOOR SYSTEM SYMBOLS**

- ⊕ denotes location of steel SHS stump set in concrete footing to engineers detail.
- ⊕ Denotes dimension to centre line
- ⊗ Denotes dimension to outside face



Plan

Floor Framing

1 : 100

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**CHECKED BY:**

DAVID WESTERMAN

**SCALE:**

1 : 100 @ A3

**CLIENT:**

TED & YVONNE MOFFAT

**PROJECT:**

Proposed - Residence

**PROJECT LOCATION:**

13212 GWYDIR HIGHWAY,  
 WARIALDA NSW 2402

**JOB NO:**

B221

**DRAWING TITLE:**

Floor Framing

**DRAWING NO:**

A.07

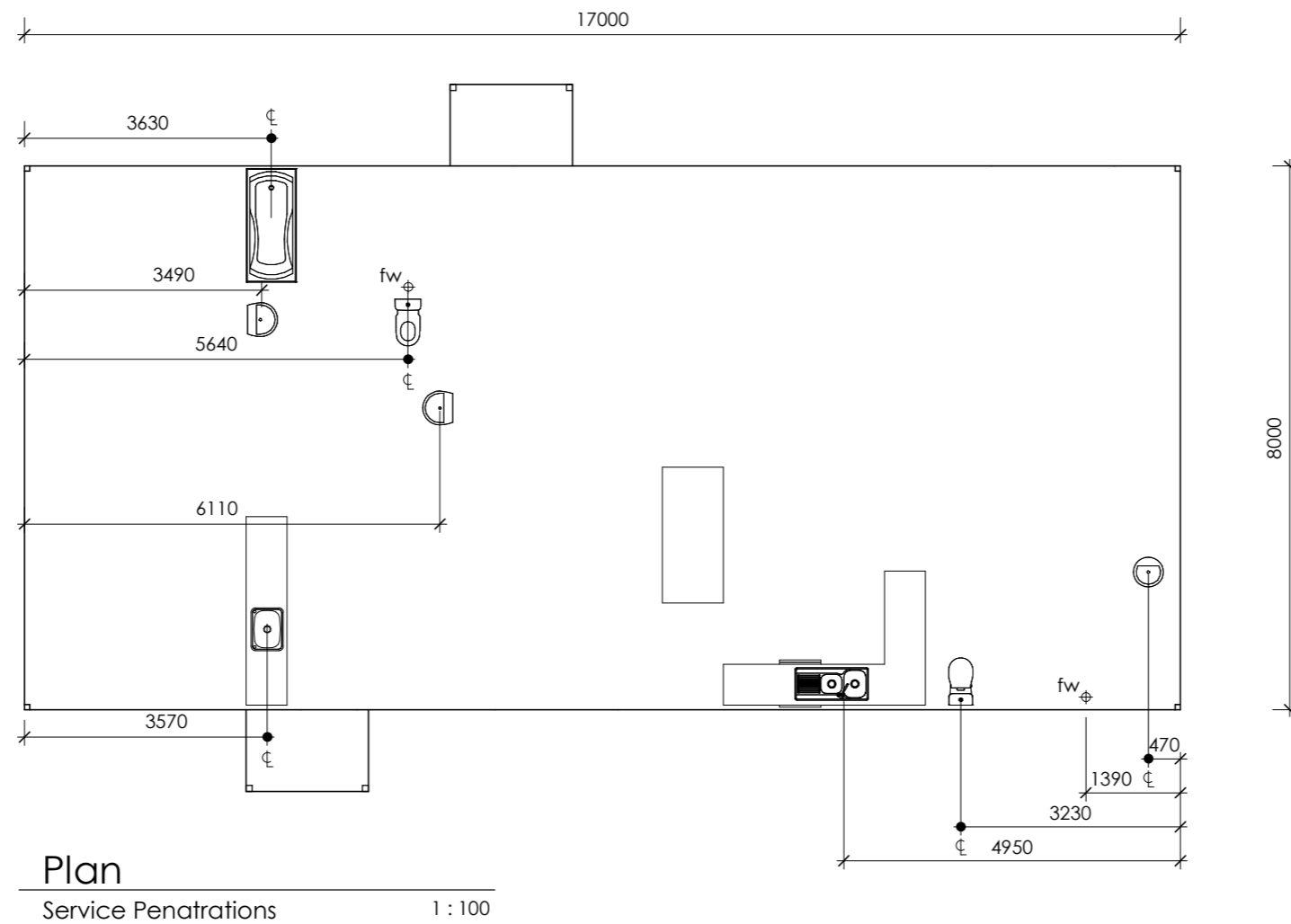
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**JOB NO:**  
**B221**

**DRAWING TITLE:**  
**Service Penetration Plan**

**DRAWING NO:** A.08 **ISSUE:** A



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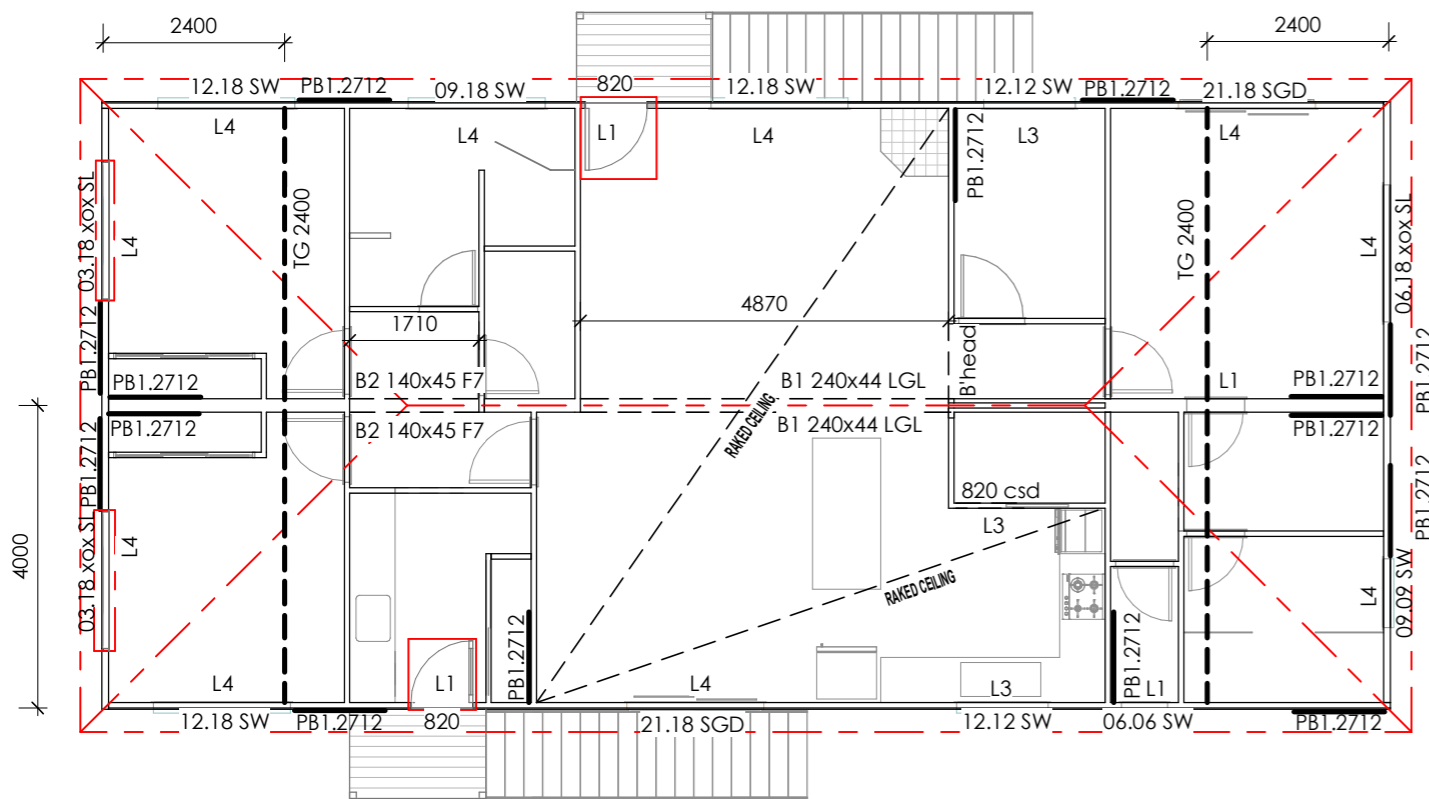
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Wind Bracing Calculations (Direction A) - Ground Level									
Brace ID	Prim. Dir.	Angle From Primary Dir.	Qty	Bracing Description	Information Source	Height	Length	Brace Cap. (kN)	Dir. 'A' Res. (kN)
Zone 1									
PB1.2712	A	0.00°	7	Plywood F27 4mm, No Nogging, Method A	AS1684.2 Table 8.18(h)	2700 mm	1200 mm	7.68	53.76
Zone 1: 7									
Grand total: 7									

Required Resistance Direction (Dir) 'A' : 41kN

Wind Bracing Calculations (Direction B) - Ground Level									
Brace ID	Prim. Dir.	Angle From Primary Dir.	Qty	Bracing Description	Information Source	Height	Length	Brace Cap. (kN)	Dir. 'B' Res. (kN)
Zone 1									
PB1.2712	B	0.00°	8	Plywood F27 4mm, No Nogging, Method A	AS1684.2 Table 8.18(h)	2700 mm	1200 mm	7.68	61.44
Zone 1: 8									
Grand total: 8									

Required Resistance Direction (Dir) 'B' : 27kN



Plan  
Level 1 Bracing &, Lintel  
1 : 100

LINTEL SCHEDULE (N3, RLW 2.4m, MAX TRUSS SPAN 4.8m)			
LOAD BEARING			
ID	SPAN	LINTEL	JAMB STUDS (EACH END)
L1	UP TO 900	PLY LINTEL	1
L1	901 to 1200	PLY LINTEL	1
L2	1201 to 1500	140x45 MGP10	1
L3	1501 - 1800	140x45 MGP10	2
L4	1801 - 2100	190x45 MGP10	2
L5	2101 - 2400	170x42 LVL	2
L6	2401 - 2700	200x42 LVL	2
L7	2701 - 3000	240x42 LVL	2
L8	3001 - 3300	240x42 LVL	3
L9	3301 - 3600	240x63 LVL	3
NON - LOAD BEARING			
L10	UP TO 1500	2/90x35 MGP10	1
L11	1501 TO 3000	2/120x35 MGP10	2
L12	3001 TO 4500	240x63 LVL	3
*JAMB 70 x 35mm F7 KD			

BEAM SCHEDULE		
MARK	TYPE	COMMENTS
B1	240x44 LGL	LIVING AREA BULKHEAD
B2	140x45mm F7 KD BEAM	INTERNAL LINTELS
B3	140x45mm F7 KD BEAM	VERANDAH BEAM

RAFTER SCHEDULE		
MARK	TYPE	COMMENTS
R1	190x45mm F7 KD RAFTER	RAFTER @ 600 CTRS

COLUMN SCHEDULE		
MARK	TYPE	COMMENTS
C1	75x75x4mm STEEL COLUMN	
C2	90x90mm TIMBER POST	

FLOOR FRAMING SCHEDULE STEEL (JOISTS)		
MARK	TYPE	COMMENTS
SJ1	100x50x1.6 RHS	JOISTS @ 600 CTS
SJ2	100x50x1.6 RHS	JOISTS @ 450 CTS (VERANDAH)
SJ3	50x100x1.6 RHS	JOISTS @ 600 CTS (WET AREA)

FLOOR FRAMING SCHEDULE TIMBER (JOISTS)		
MARK	TYPE	COMMENTS
TJ1	140 X 45MM MGP10	JOISTS @ 450 CTS (VERANDAH)

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SCALE:  
**1 : 100 @ A3**

CLIENT:  
**TED & YVONNE MOFFAT**

PROJECT:  
**Proposed - Residence**

PROJECT LOCATION:  
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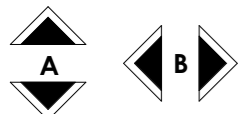
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**B221**

DRAWING TITLE:  
**Bracing & Tiedown Plan**

DRAWING NO: **A.09** ISSUE: **A**



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NOTES:

Bracing capacity values include all relevant height reduction factors.

TO ENGINEERS DESIGN & DETAIL

- Sub floor bracing & calcs
- concrete footings

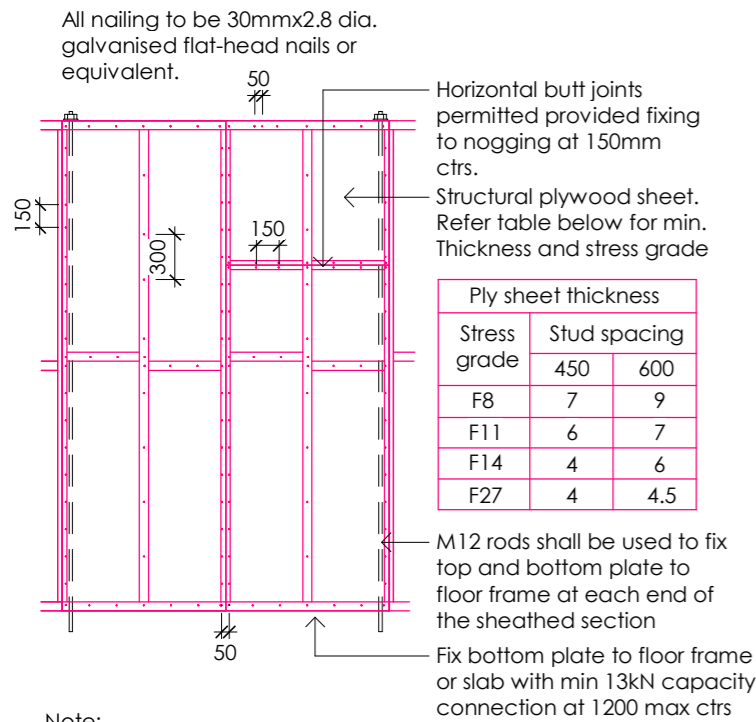
ENGINEER TO CONFIRM

- confirm ceiling diaphragm bracing
- confirm bracing & tiedown

Signatures

Owner(s):.....  
.....  
Builder: .....  
Date:.....

**FRAME & TIE DOWN SCHEDULE - SHEET ROOF - N3 - RLW: 2100 - VERANDAH RLW: 900**



Note:  
All internal bracing walls shall be fixed to the ceiling or roof frame and/or to the external wall frame in accordance with Clause 8.3.6.9 and selected methods in Table 8.22 of AS1684

**Plywood Brace (PB1)**

AS1684 - Table 8.18 (h)  
Bracing capacity 6.4kN/m (Method A)

**MEMBER SIZE SPACING SPAN GRADE TIE DOWN & FIXING**

MEMBER	SIZE	SPACING	SPAN	GRADE	TIE DOWN & FIXING
<b>SUB-FLOOR</b>					
BEARER	310 UB32		2800		5335
FLOOR JOIST	100 X 50 X 1.6mm RHS		600		2800

**WALL MEMBERS**

COMMON STUD-LB-EXT	70 X 35mm		400		2400	MGP10
COMMON STUD-LB-CW	70 X 35mm		400		3350	MGP10
GABLE WALL STUD	70 X 35mm		400		3000	MGP10
COMMON STUD-NLB	70 X 35mm		600			MGP10
BOTTOM PLATE-NLB	70 X 35mm					MGP10
TOP PLATE-NLB	70 X 35mm					MGP12
BOTTOM PLATE-LB	70 X 35mm					MGP10
BOTTOM PLATE-LB-CW	70 X 35mm					MGP10
TOP PLATE-LB	2/70 X 35mm					MGP10
TOP PLATE-LB-CW	2/70 X 35mm					MGP10

**JAMB STUDS-EXT**

0 - 900 OPENING	1/70 X 35mm				2400	MGP10
900 - 2800 OPENING	2/70 X 35mm				2400	MGP10
2800 - 4500 OPENING	3/70 X 35mm				2400	MGP10
0 - 1400 OPENING GABLE	2/70 X 35mm				3000	MGP10
1400 - 2500 OPEN GBLE	3/70 X 35mm				3000	MGP10

**SILL TRIMMER**

0 - 2400 OPENING	1/70 X 35mm					MGP10
------------------	-------------	--	--	--	--	-------

**LINTEL & ROOF MEMBERS**

0 - 1850 OPENING C-PLY BEAM	70 X 45 PLATE				1850	MGP10
1850 - 3000 OPENING	140 X 45mm H3 / 70 X 45 PLATE				3000	MGP10

ROOF BEAM	245 X 45mm				3980	LVL
CEILING JOIST	90 X 35mm		600		2400	MGP10
RAFTER	140 X 45mm		600		4100	F7
ROOF BATTEN 0.75BMT	STRAMIT ROOF BATTEN		750		600	CONT.
VERANDAH JOIST	100 X 50 X 1.6mm RHS		600		2400	
VERANDAH POST	90 X 90mm				2100	MGP10
VERANDAH PIT. BEAM	190 X 45mm				2400	MGP10
VERANDAH RAFTER	140 X 35mm		900		2450	MGP10
VERANDAH ROOF BAT.	70 X 35mm		900		1200	MGP10

SUPPORTING CATHEDRAL CEILING

95 Hex Screw @ 600 CENTERS INT FLOOR JOIST

PLY SHEATH - BOTH SIDES

1 FULL LENGTH - 1/No 14 TYPE SCREW TO FRAME  
1 FULL LENGTH - 1 UNDER STUD - NAILED TO FRAME  
2 FULL LENGTH - 1 UNDER STUD - NAILED TO FRAME

RB - 1/30 X 0.8GI STRAP - 5/2.8mm DIA. NAILS  
RB - 1/30 X 0.8GI STRAP - 5/2.8mm DIA. NAILS

1/M10 ROD AS PER DETAIL  
TRUSS WITH CEILING BATTEN  
1/30X 0.8 GI 100PED STRAP 4/2.8mm DIA NAILS EACH END  
2/50mm No.14 YTPPE 17 SCREWS WITH CYCLONE CAPS

2/No14 TYPE SCREWS TO POST  
2/No14 TYPE SCREWS TO POST  
2/No14 TYPE SCREWS - 1/JOIST BRACKET  
2/50mm No.14 YTPPE 17 SCREWS

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**CHECKED BY:**  
**DAVID WESTERMAN**  
**SCALE:**  
**As indicated @ A3**

**CLIENT:**  
**TED & YVONNE MOFFAT**

**PROJECT:**  
**Proposed - Residence**

**PROJECT LOCATION:**  
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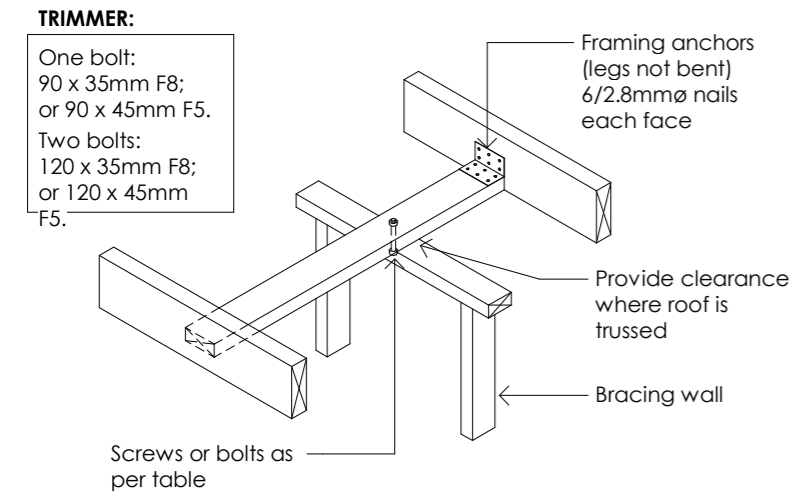
**JOB NO:**  
**B221**

**DRAWING TITLE:**  
**Typical Framing Details and Schedules**

**DRAWING NO:** A.10 **ISSUE:** A



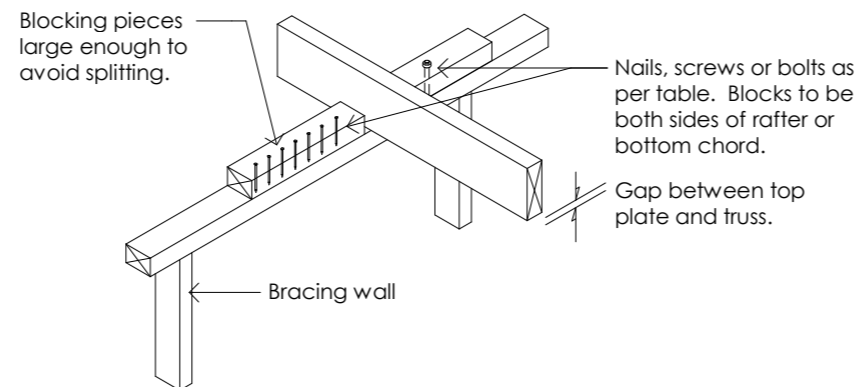
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Note:  
For trussed roofs, screws or bolts through the top plate shall be placed in holes that permit free vertical movement of the trusses.

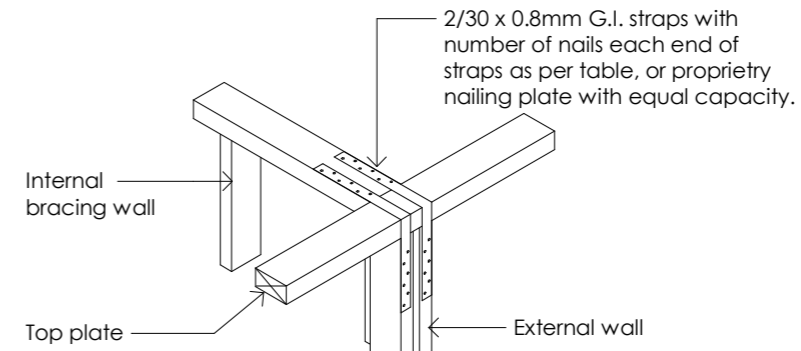
**Rafters, joists or trusses to bracing wall**

AS1684 - Table 8.22 (b)



**Rafters, joists or trusses to bracing wall**

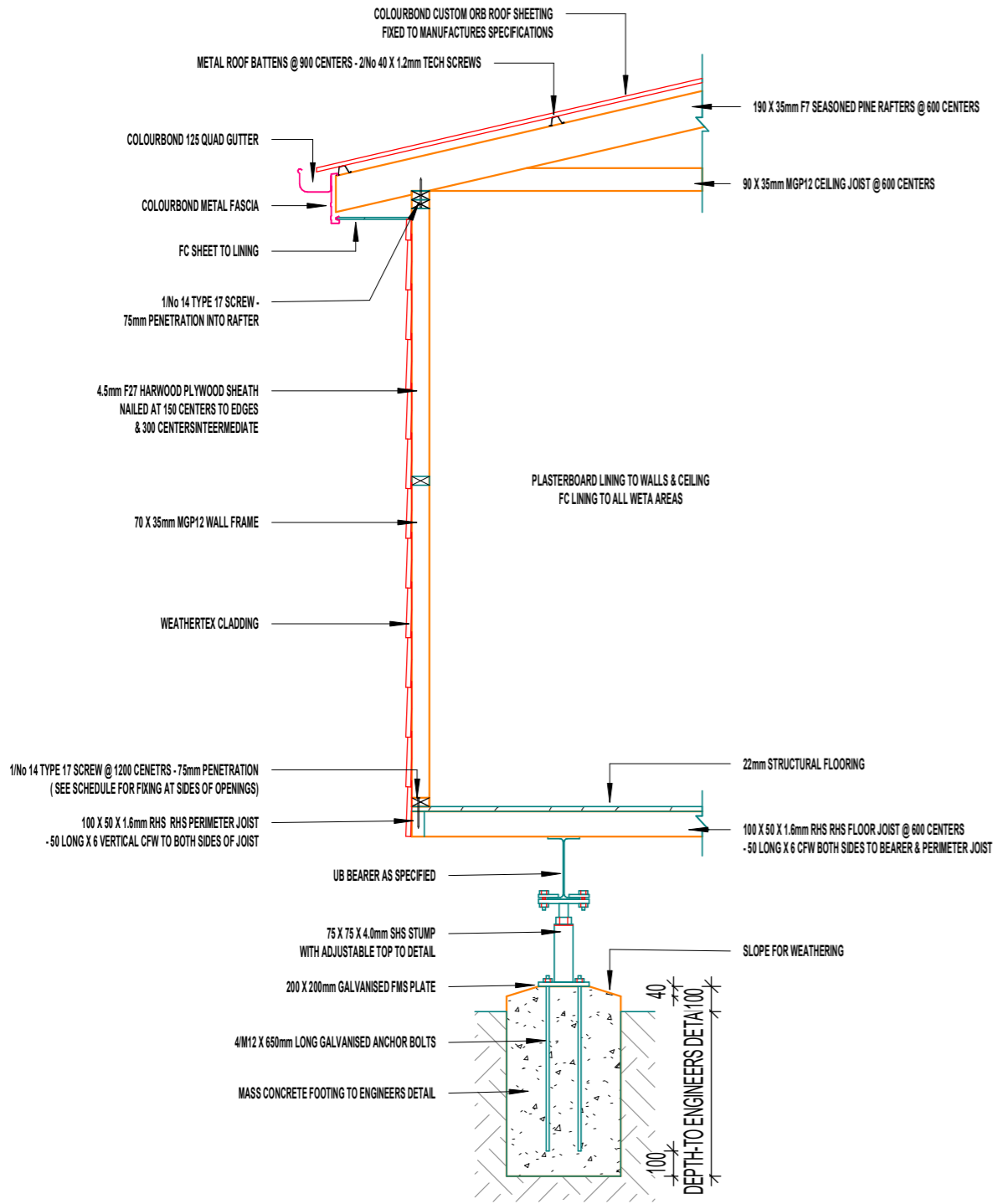
AS1684 - Table 8.22 (j)



**Rafters, joists or trusses to bracing wall**

AS1684 - Table 8.22 (k)

Signatures	
Owner(s):	.....
Builder:	.....
Date:	.....



1 Section Detail  
DETAIL - 4  
1 : 25

**BRACING NOTES**

**Bracing type used - type (h) method 'b' 6.00kn per lineal meter**

- Minimum length of brace panel shall not be less than 900mm unless stated
- Plywood shall be fixed to frame in accordance to AS1684.2 using 30 x 2.8mm flathead galv. Nails mechanically driven or equivalent
- Fastener spacing top & bottom plate 150mm vertical edges 150mm intermediate studs 300mm

**Structural bracing**

- For wall heights greater than 2700mm the bracing capacity of bracing walls is reduced & must be recalculated using the values in table 8.1.9 of AS1684.3
- Bracing shall initially be placed in external walls & where possible at the corners of the building remaining bracing shall be evenly distributed throughout the building
- Bracing shall not be placed on external walls under the eaves unless suitable connections to the main ceiling diaphragms are provided
- The maximum distance between braced walls at right angles to the building length/width shall not exceed 9000mm for the wind classification N2 for wind classification greater than N2 spacing shall be in accordance with table 8.20 & 8.21 in AS1684.2 & 1684.3

**WALL FRAME SCHEDULE - GROUND FLOOR**

**External walls - 2700mm high max.**

- All timber to be a min stress grade of MGP10 unless stated otherwise
- Joint group JD4 unless otherwise noted
- Bottom plate 1/70 x 35mm MGP10
- Top plate 1/70 x 35mm MGP10
- Loaded stud wall 1/70 x 35mm MGP10 @ 450 centers

**Internal walls - 2700mm high max.**

- All timber to be a min stress grade of MGP10
- Joint group jd4 unless otherwise noted
- Bottom plate 1/70 x 35mm MGP10
- Top plate 1/70 x 35mm MGP10
- Stud wall 1/70 x 35mm MGP10 @ 600 centers

**Tie down schedule**

- All internal bracing walls shall be fixed to the floor ceiling and/or external wall frame with structural or equivalent shear capacity to the bracing capacity of that bracing wall

**Roof trusses & roof bracing**

- To be designed by roof truss manufacture and to comply with AS1684.2, AS1720 & AS4440

**Roof trusses & roof bracing**

- To be designed by roof truss manufacture and to comply with AS1684.2, AS1720 & AS4440

**Temporary wall brace**

- The builder is to ensure that the building is adequately braced during construction
- Temporary bracing shall be equivalent to at least 60% of the permanent bracing requirements
- Temporary bracing may form part of the installed permanent bracing
- Specific fixings to all timber members in accordance with relevant standards as 1684.2 AS1684.3
- 1/M12 cyclone rod from top plate to slab and/or floor bearer to each side of external openings & at 1800 centers.
- Joint group - JD4, roof load width RLW - 2050, upload width ULW - 4400 max

**Battens / trusses**

- Straps as per manufactures instructions

**Rafter to top plate**

- 1/125 No.14 Screw

**Wall plates to studs - central walls**

- Ply Sheath

**Wall plates to studs - outside walls**

- 4.5mm ply from top plate to bottom plate using 30 x 2.8mm dia. Nails to all external walls

**Noggings to studs**

- 2/75 x 3.05mm dia. Nails skewed or through plate

**Lintel to jamb stud**

- 2/75 x 3.05mm dia. Nails at each joint

**Bottom plate to floor joist**

- 1/no14 type 17 screws @ 600mm centers

**Verandah post to bearer**

- 2/75mm bugle head gal screws

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**SCALE:**  
1 : 25 @ A3

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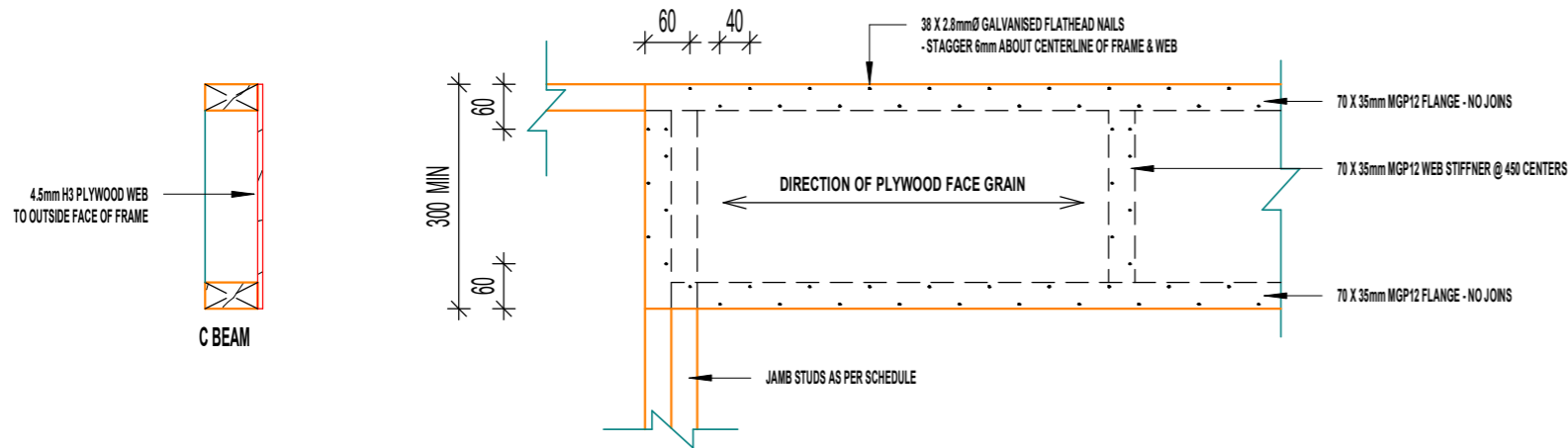
**DRAWING TITLE:**  
Typical Framing Details and Schedules

**DRAWING NO:** A.11 **ISSUE:** A

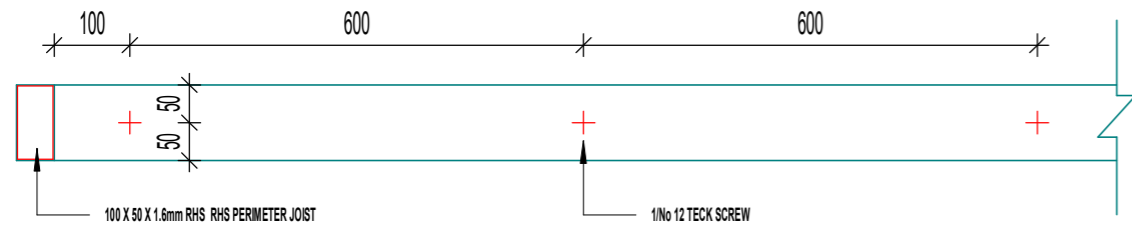


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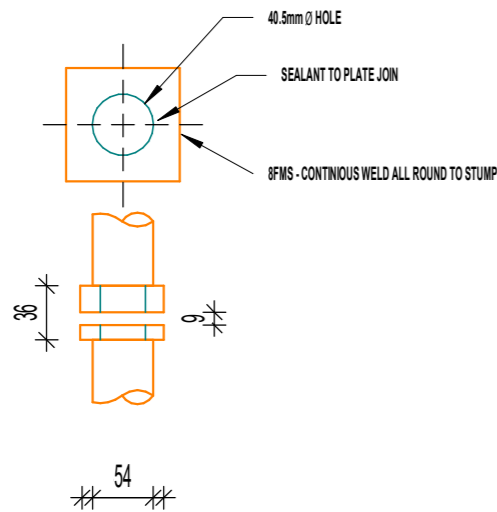
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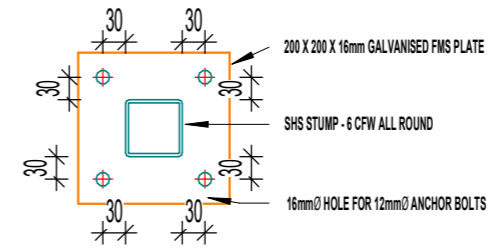
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 TYP. C PLYWOOD LINTEL DETAIL 1 : 10



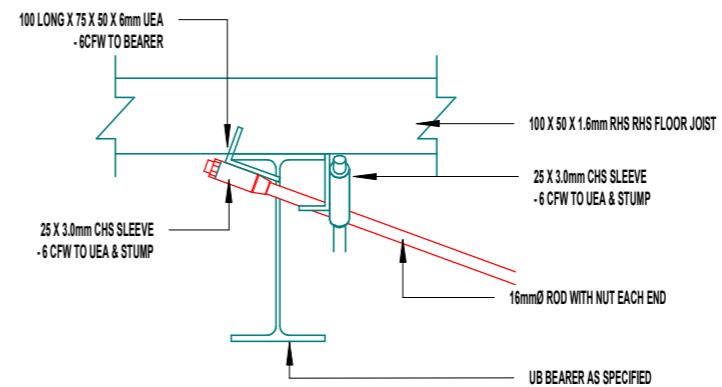
3 Plan Detail  
 TYP. DOUBLE JOIST DETAIL 1 : 10



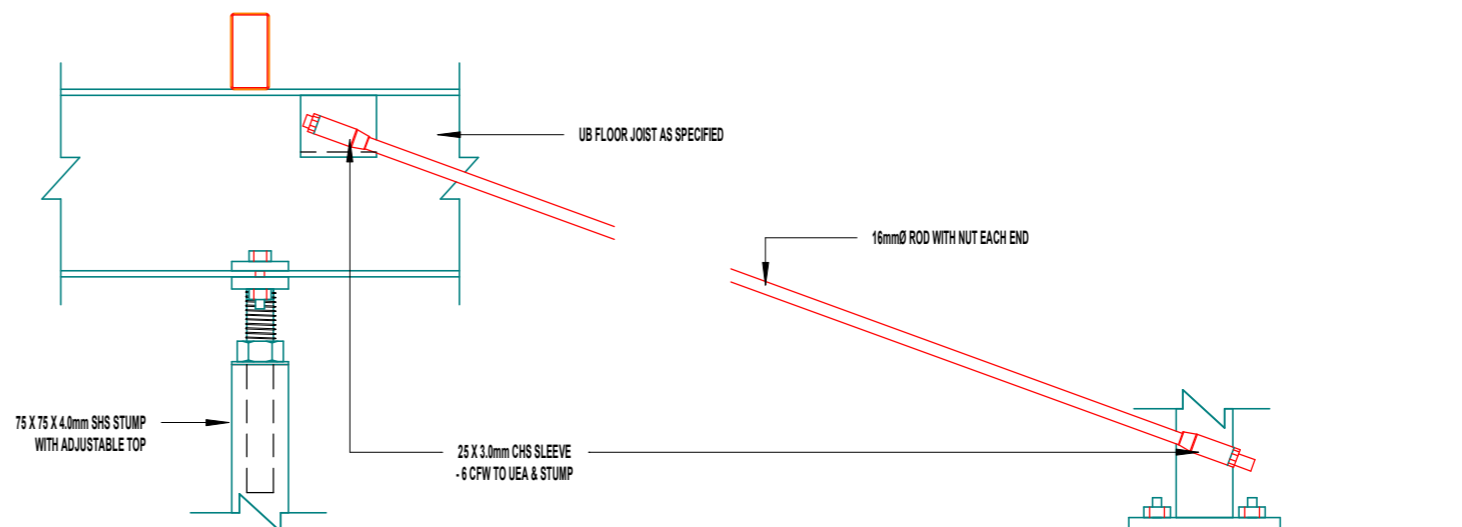
6 Plan Detail  
 TYP. STUMP PLATE & CAP DETAIL 1 : 5



4 Plan Detail  
 TYP. STUMP BASE PLATE DETAIL 1 : 10



2 Plan Detail  
 TYP. STUMP BRACING CONNECTION DETAIL 1 : 10



5 Plan Detail  
 TYP. STUMP BRACING DETAIL 1 : 10

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JOB NO:  
**B221**

DRAWING TITLE:  
**Typical Framing Details**

DRAWING NO: **A.12a** ISSUE: **A**



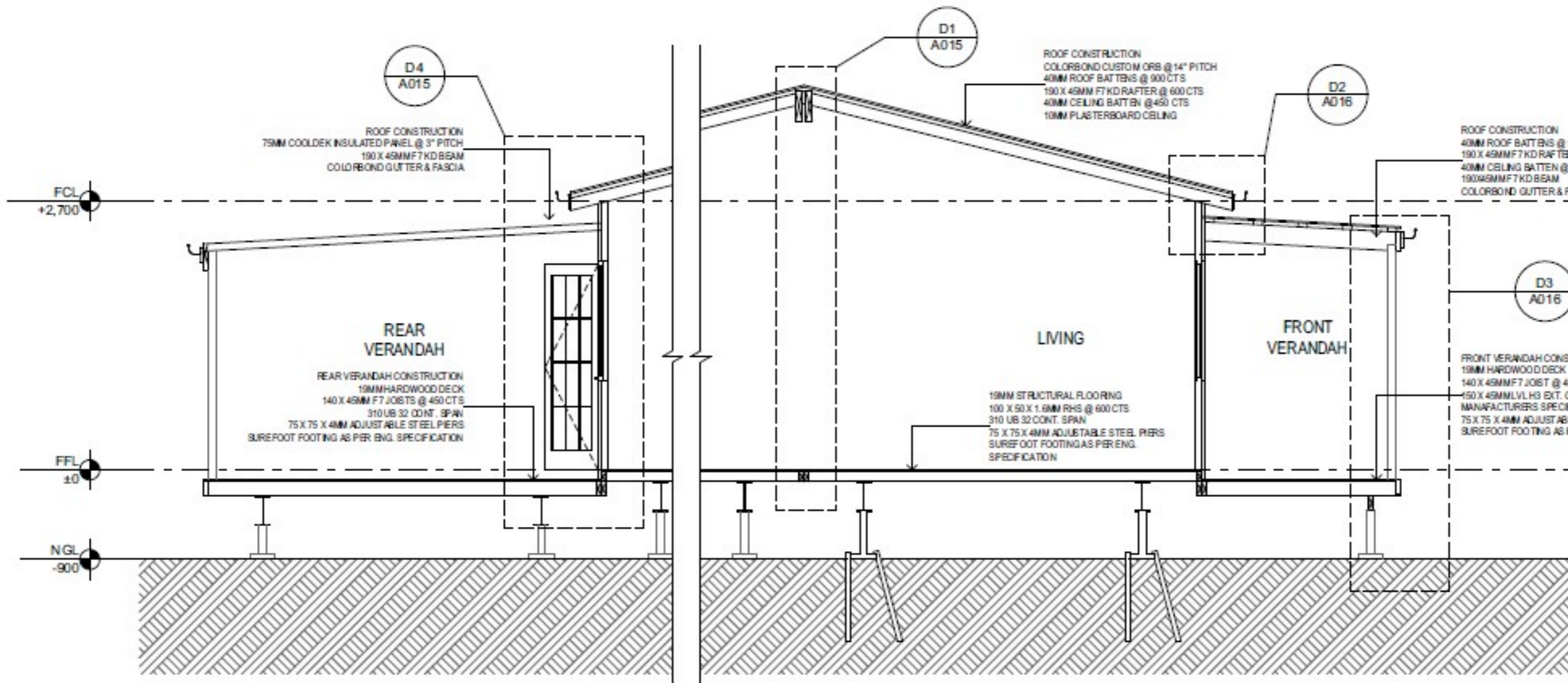
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Signatures

Owner(s): .....

Builder: .....

Date: .....



**S1**  
**A003**

**SECTION S1**  
**1:50**

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**CHECKED BY:**  
**DAVID WESTERMAN**  
**SCALE:**  
**@ A3**

**CLIENT:**  
**TED & YVONNE MOFFAT**

**PROJECT:**  
**Proposed - Residence**

**PROJECT LOCATION:**  
**13212 GWYDIR HIGHWAY,**  
**WARIALDA NSW 2402**

**JOB NO:**  
**B221**

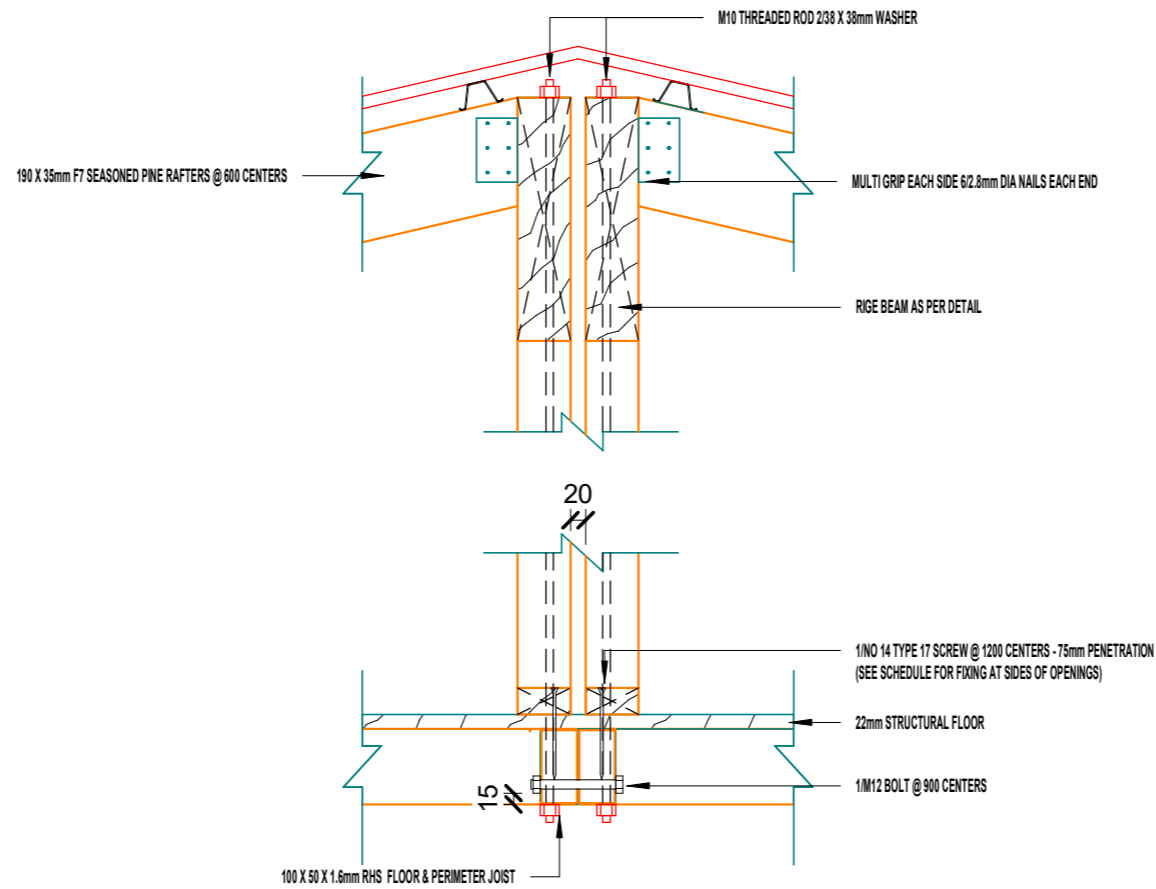
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**Typical Wall Sections**

**DRAWING NO:** A.12b **ISSUE:** A

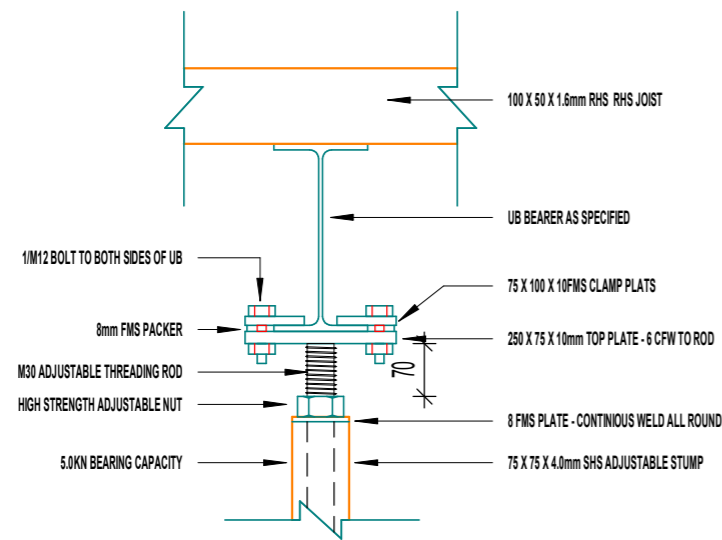


Signatures	
Owner(s):	.....
Builder:	.....
Date:	.....

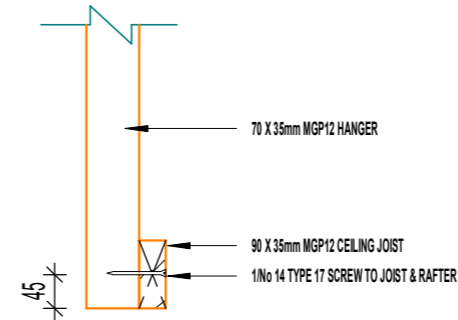
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**FREE CALL:** 1800 688 044  
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3 Section Detail  
 DETAIL - 3 1 : 10



1 Section Detail  
 TYPICAL STUMP TO BEARER  
 DETAIL 1 : 10



2 Section Detail  
 TYP. CEILING JOIST/HANGER  
 CONNECTION DETAIL 1 : 10

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**1 : 10 @ A3**

CLIENT:  
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PROJECT:  
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JOB NO:  
**B221**

DRAWING TITLE:  
**Typical Framing Details**

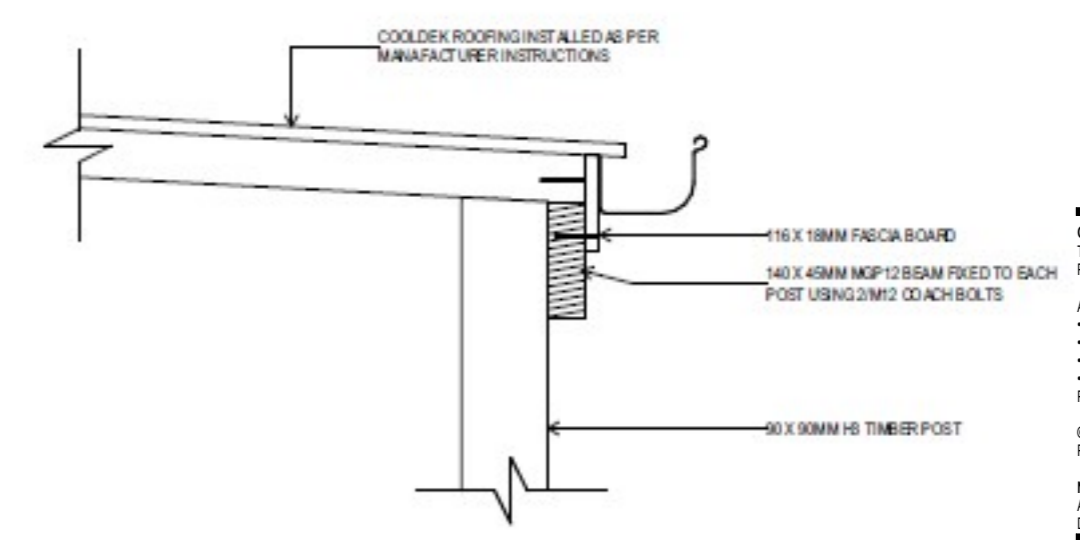
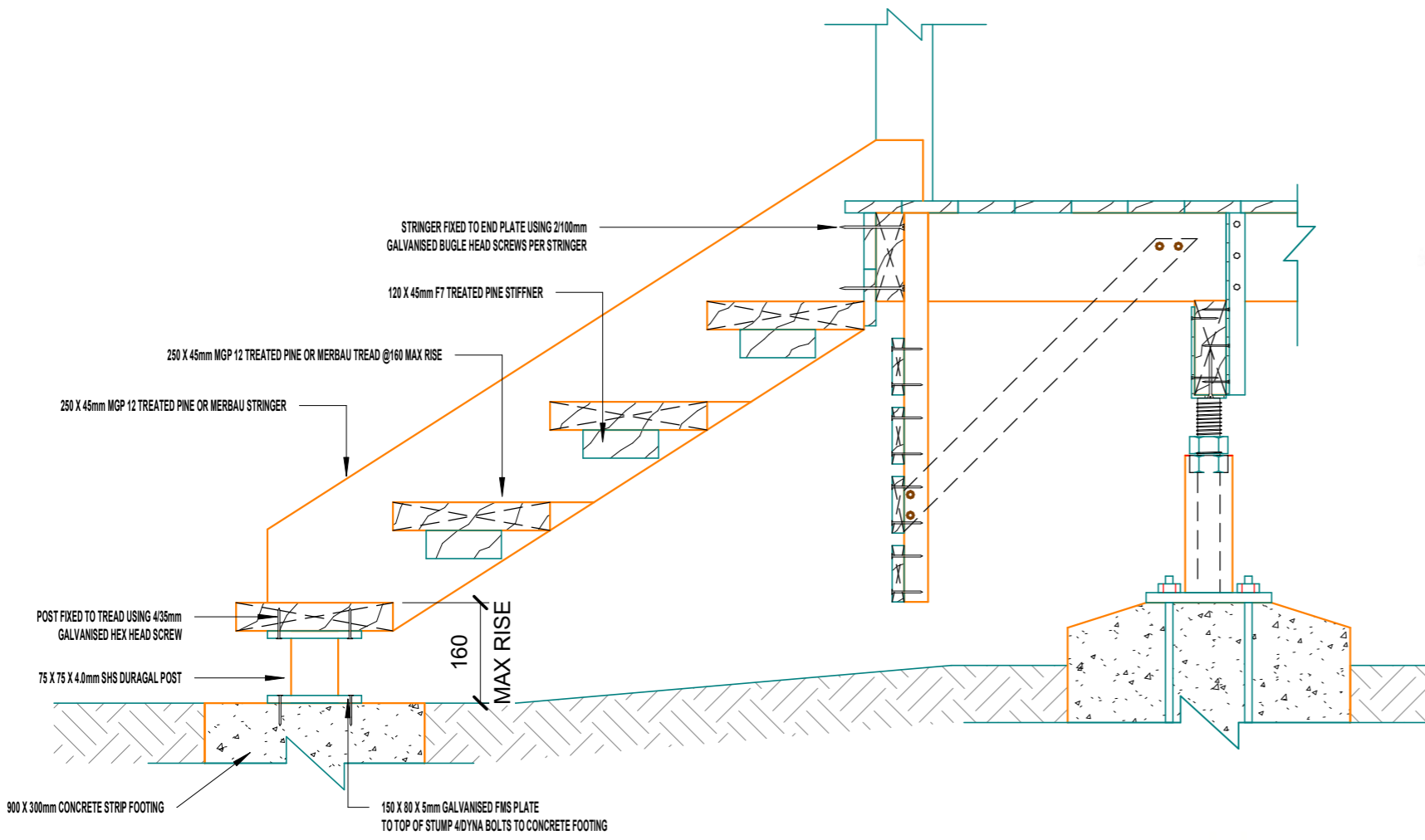
DRAWING NO: **A.12c** ISSUE: **A**



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Builder:	.....
Date:	.....

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**PROJECT:**  
 Proposed - Residence

**PROJECT LOCATION:**  
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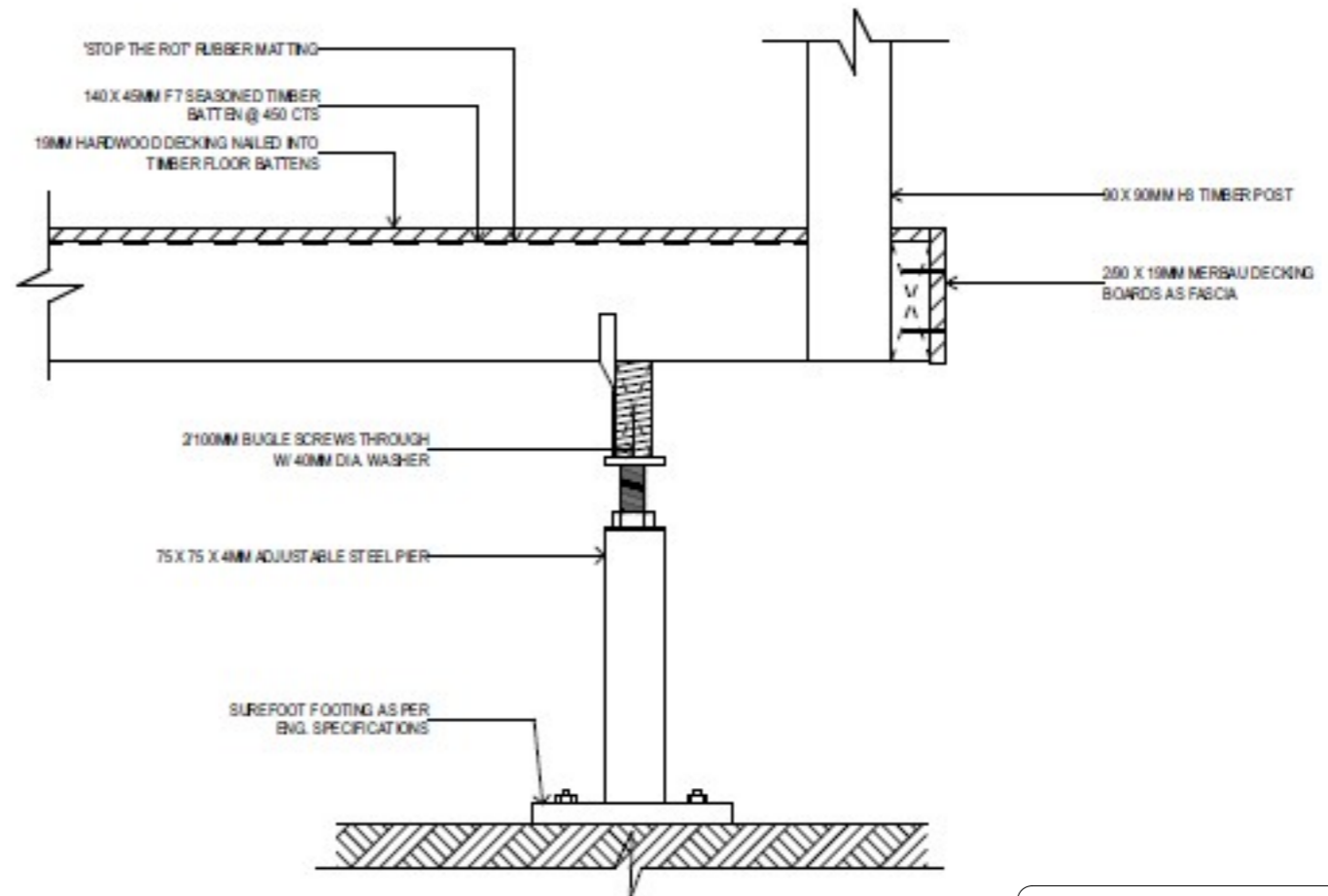
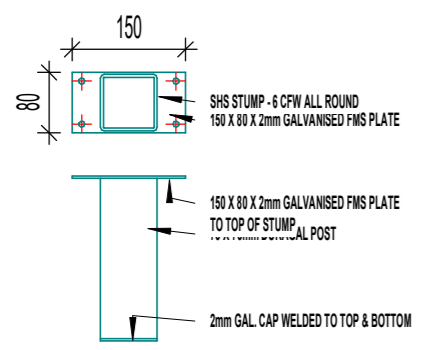
**JOB NO:**  
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**DRAWING TITLE:**  
 Typical Framing Details

**DRAWING NO:** A.12d **ISSUE:** A



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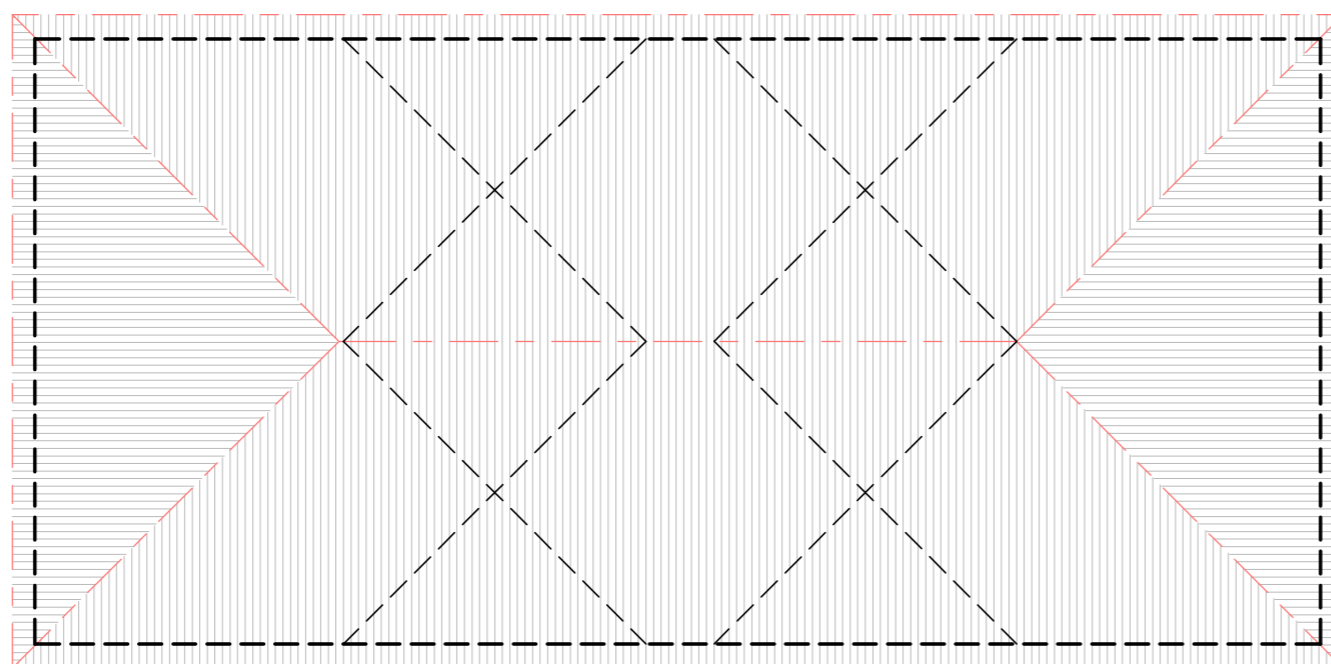
**D3**  
**A003** VERANDAH COLUMN DETAIL  
 1:10

Signatures

Owner(s): .....

Builder: .....

Date: .....



ROOF BRACE 30 X 0.8mm GI STRAP - LOOP ENDS  
 4/2.8mm DIA NAILS EACH END  
 FIXED TO BOTTOM CHORD OF ROOF TRUSSES - FURTHER  
 ROOF BRACING REFER TO TRUSS MANUFACTURER

Plan  
 Roof Bracing 1 : 100

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**1 : 100 @ A3**

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**Proposed - Residence**

**PROJECT LOCATION:**  
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**JOB NO:**  
**B221**

**DRAWING TITLE:**  
**Roof Bracing Plan**

**DRAWING NO:** A.13      **ISSUE:** A



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.....	
Builder: .....	
Date:.....	

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Roof Drainage Schedule (w/ Rainwater Tank Nomination)			
Downpipe	Area	Nominated Downpipes	Area Nominated
dp 1	37.8 m <sup>2</sup>	Yes	37.76 m <sup>2</sup>
dp 2	38.1 m <sup>2</sup>	Yes	38.10 m <sup>2</sup>
dp 3	38.3 m <sup>2</sup>	Yes	38.26 m <sup>2</sup>
dp 4	37.9 m <sup>2</sup>	Yes	37.91 m <sup>2</sup>
<b>Total</b>	<b>152.0 m<sup>2</sup></b>		<b>152.03 m<sup>2</sup></b>

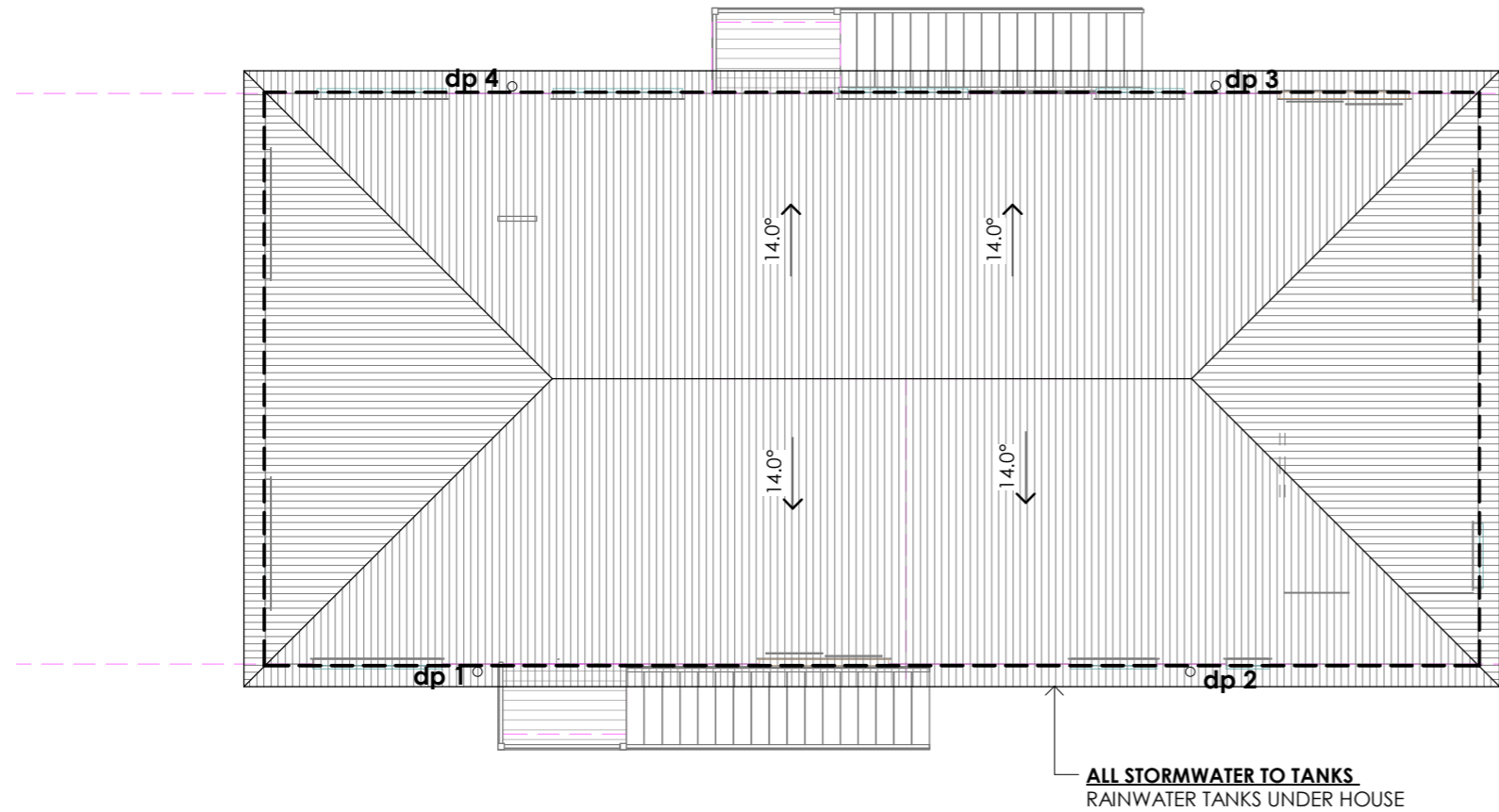
**NOTES**

All work to conform with Part MP 4.2 of the Queensland Development Code (QDC) (Water Saving Targets).

Roof stormwater is to discharge to local government requirements and approval. Downpipes not connected to rainwater tank/s, and rainwater tank/s overflow are to discharge to nominated discharge points via bubbler.

Downpipes connected to rainwater tanks via underground surface drain to be fitted with vermin proof rainwater heads.

**ALL ROOF STORMWATER TO TANKS**



Plan  
 Roof Drainage 1 : 100

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**SCALE:**  
 1 : 100 @ A3

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 TED & YVONNE MOFFAT

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**JOB NO:**  
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**DRAWING TITLE:**  
 Roof Drainage Plan

**DRAWING NO:** A.14 **ISSUE:** A



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