



RFQ - Specification

Request for Quotation

RFQ Title Renovation to amenities at Bingara Fitness Centre

RFQ Number 2019-1

Issue Date 30/11/2018

Quotations close on Friday 11th January 2019 at 5.00pm.

Quotations may be delivered to Council Offices, or emailed to;
mail@gwydir.nsw.gov.au.

Please mark your quotation with RFQ 2019-1

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1. Introduction

Gwydir Shire Council is looking to engage a suitable contractor to undertake works to renovate the existing amenities at the Bingara Sporting Club. Amenities will service the users of the Gwydir Fitness Centre located at the rear of the building.

Any interested contractors are invited to undertake a site inspection with the Project Manager and an appointment can be made by contacting Councils Community Development Manager on 0427291672 during business hours.

2. Background Information

The existing amenities are dated and are not fit for purpose. The existing floor footprint has the necessary space to accommodate the proposed layout as per attachment 2019-1-2.

The current facilities are utilised by the adjoining kitchen and restaurant area. Interruptions or changes in access to these facilities or the club in general and their patrons will be a consideration.

The Bingara Sporting Club are the owners of the Asset (existing and future). Council as the funded body are responsible for the project will be project managing in consultation with the Bingara Sporting Club. The Project is being funded through NSW Government Funding – Stronger Country Communities Funding – Round 2 following a request and application proposed by the Friends of Bingara Fitness Centre Committee.

3. Objectives / Outcomes

To deliver functioning accessible and easy to maintain amenities for both men and women which allow shower, change and restroom capability.

To deliver the project within the agreed budget

To deliver the project within the defined time frame

To deliver the project in line with the Funding Deed Conditions.

4. Scope of Works and Specification and Requirements of the Contract

To supply and deliver the proposed amenities in-line with the layout plans and specifications as detailed in this RFQ including

- Site Preparation and isolation to a safe construction work site standard including signage
- Demolition of existing internal structure, fittings and fixtures and removal from site.
- Plumbing – all plumbing works including excavation and removal of existing plumbing and drainage where necessary removal of materials from site. Connection to existing hot water or supply and fit new system. Installation of all new plumbing and drainage for the new amenities including wet sealing. bathroom furniture, being,
 - 2 toilets
 - 2 showers cubicles
 - 2 vanities (one double, one single)
 - Hand towel dispensers
 - Toilet roll dispensers
 - Connection to hot water system or supply and fit additional system(s)
- All plumbing Labour and materials and plants hire.
- All lighting and electrical installation including Labour and Materials. Install lighting in toilets, ventilation, exhaust extraction fans and/or tastic units and power points adjacent to basins
- Vinyl wrap flooring with 150mm wall wrap or floor tiles with a wall shirting
- Construction and Installation of new walls and structural framework, lining with appropriate sheeting including ceilings
- Installation of internal partitions for the new cubicles for Showers and toilets.

- Install new Glass security strength door at back entry to building which will require FOB entry.
- New Entry doors to men's and women's amenities including signage – solid doors
- Install or modify existing door to dining room entry to a secure lockable door.
- Building Labour
- Building materials including concrete
- Building plant and equipment, scaffolding or barrier hire.
- Painting all walls and ceiling, frameworks and doors where required with suitable paint with anti-mould properties.
- Site clean-up and restoration if necessary

5. Other Deliverables and Conditions

All materials should be fit for purpose and be of a commercial grade.

All works will be subject to any approvals if required.

All works and materials will be in line with the relevant Building Codes of Australia and Australian Standards

All Works Safe measures will be undertaken by the contractor including site inductions, safety plans and reporting and taking appropriate steps for any instances which may occur.

Works will be completed to the agreed time frame as defined by the successful contractor which will be reasonable for the works to be undertaken.

All interruptions to business for the Sporting Club will be notified with reasonable notice and in consultation with the Club Management and Councils Project Officer

The management of the project will be overseen by Councils Appointed Project Manager. All negotiations and decisions will be referred to the Project manager for a response.

6. Contractor Resource Requirements, Qualifications and Accreditations

All responses must address the following:

- Builder Licence Number
- Insurer Certificate of Currency

7. Insurance Requirements

Insurance Type	Insurance Amount Required	Specific Insurance Requirements
Public Liability	\$20 million	Certificate of Currency
Workers Compensation	Policy Based	Certificate of Currency
Motor Vehicle - Comprehensive & CTP	CTP and Comprehensive	Certificate of Currency

8. Project Timelines

Event / Task / Milestone	Details	Commencement Date	Completion Date
Site Initiation	Site Isolation and necessary signage	TBA	TBA
Demolition	Internal Walls fittings and fixtures including any drainage excavation	TBA	TBA
Completion of Construction and Works	Complete including internal walls, panelling, plumbing and drainage, electrical, painting, doors and signage	TBA	TBA
Note - Timeline will be negotiated with successful Contractor.			

9. Service Levels & Key Performance Indicators (KPI's)

This contract will be performance managed by the project manager during regular site inspections

10. Reporting Requirements

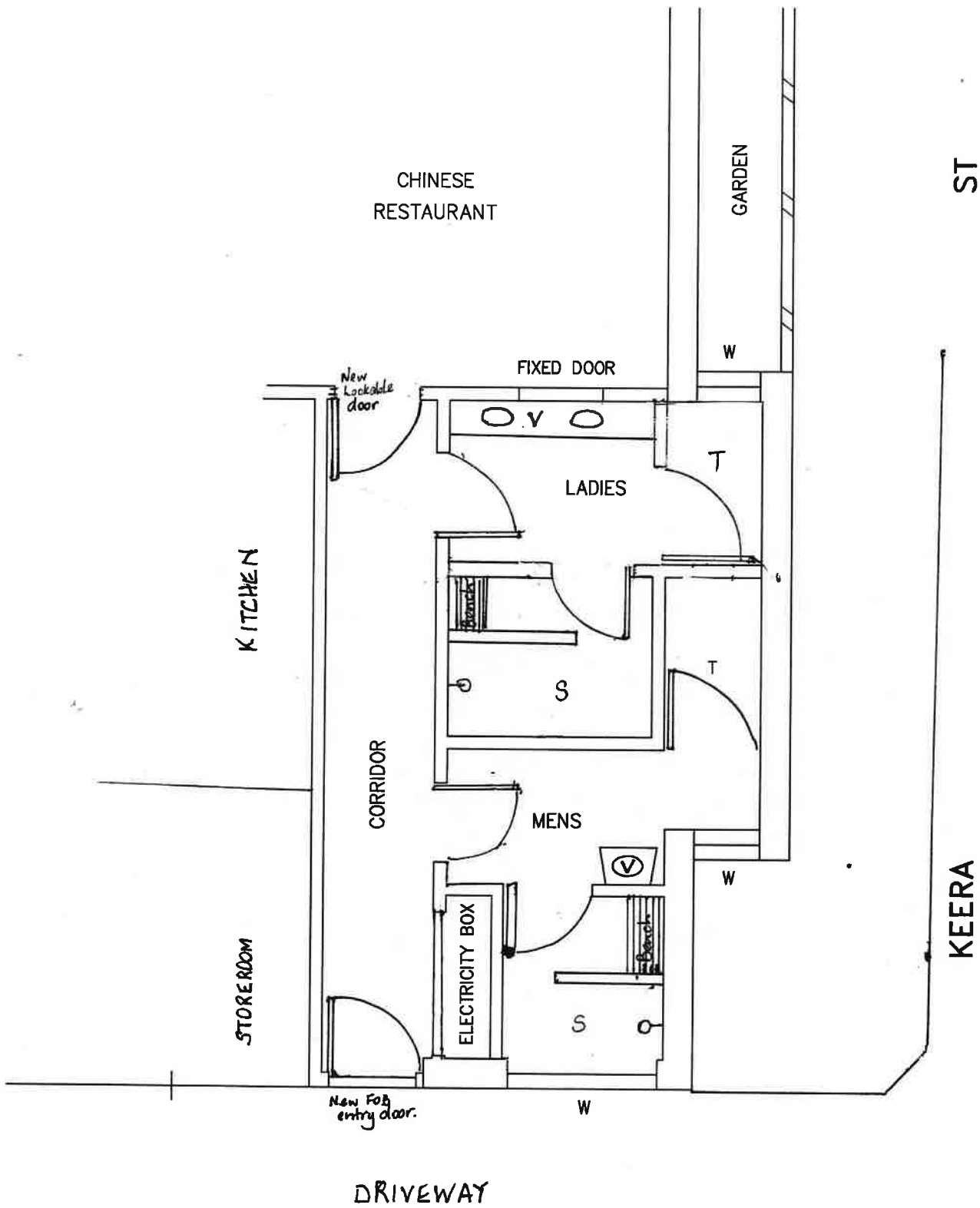
Quotations should be itemised to show materials, labour, contracted costs for elements such as electrical and plumbing. This should be presented in an itemised table format

A Final Project report will be delivered by the project manager in conjunction with the contractor to meet the Funding Agreement reporting terms and conditions.

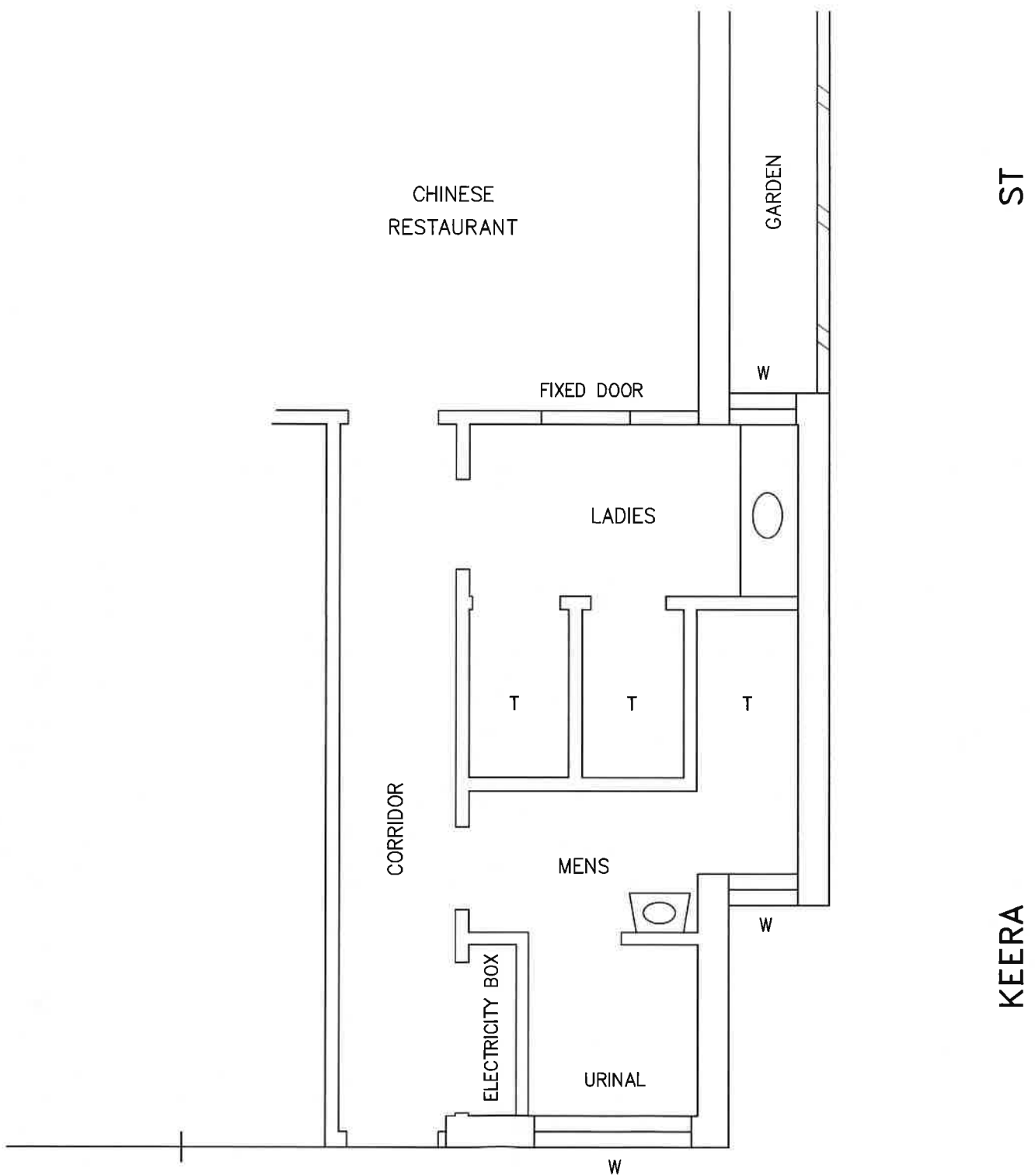
11. Table of Attachments

The attached documents are provided to be read in conjunction with this document to provide Respondents with complete detail relating to the requirements of the RFQ.

Attachment No.	Attachment Title
2019-1-1	Existing layout plans
2019-1-2	New Layout Plans
2019-1-2	Drainage diagram for the Bingara Sporting Club



BINGARA SPORTING CLUB
 NEW GYMNASIUM MEN'S & LADIES TOILET & CHANGE ROOMS SCALE 1:50



BINGARA SPORTING CLUB
(EXISTING MEN'S & LADIES TOILET FACILITIES)

167

SHIRE OF BINGARA

PLAN OF HOUSE DRAINAGE

For M. THE BINGARA SPORTING CLUB LTD. Drainage Plan No. 156
 Situation of Property LOTS 1/2 SECTION 24 BOMBELLI STREET BINGARA Detail Plan No. 6
 Scale: 50 ft. to 1 inch FEES

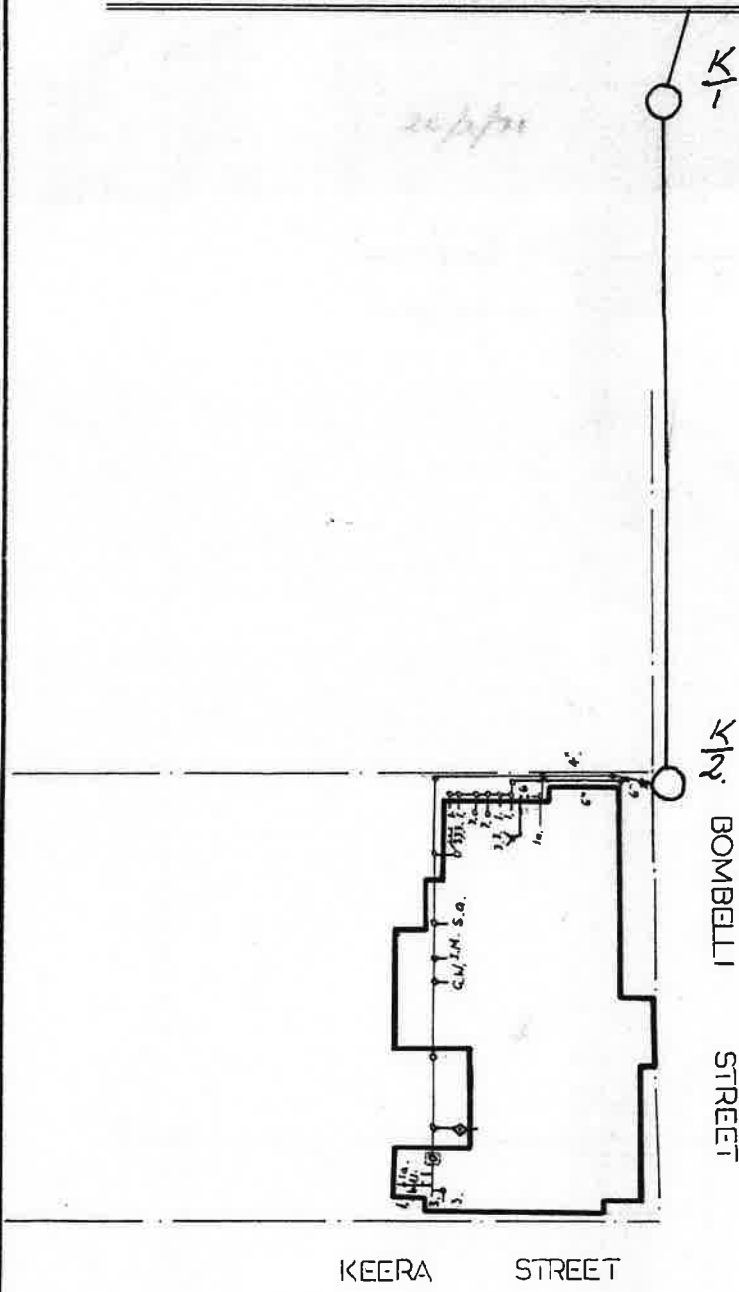
THIS PLAN IS THE PROPERTY OF THE OWNER AND MUST BE RETURNED TO HIM ON COMPLETION OF THE WORK.

Rain or Surface Water must not be discharged into the Sewers.

All Drainage and Plumbing Work must be carried out strictly in accordance with the provisions of the Local Government Act and Ordinances and Requirements of the Council's Inspector.

No alteration to Drainage to be made unless previous consent is given, and all drainage work to be tested before covering.

Junction 5 feet from Downstream Manhole $\frac{K}{2}$ approx. depth 5 feet 6 inches
 On the satisfactory completion of the work a Certificate will be issued by the Council.



Reference

- 1. Water Closet ... only
 - 1a. Urinal ... "
 - 2. Bath ... "
 - 3. Basin ... "
 - 4. Laundry Tubs ... "
 - 5. Kitchen Sink ... "
 - 5a. Bar Sink ... "
 - 6. Yard Sink ... "
 - 7. Shower ... "
 - 8. Grit Arrestor, Stables, etc.
 - 9. Mechanical Washer.
 - S or P Trap.
 - ∩ Disconnector Trap.
 - ⊕ Inspection Junction.
 - Inspection Pipe.
 - ◇ Grease Trap.
 - ★ Surface Box N54.
 - △ Petroleum Arrestor.
- Tree: Where any tree is growing within 10ft. of drain, the line is to be encased in concrete.
- B.V. Back Vent.
 S.V.P. Soil Vent Pipe.
 C.I.P. Cast Iron Pipe.
 E.V. Educt Vent.
 Red Line Sewer Main.

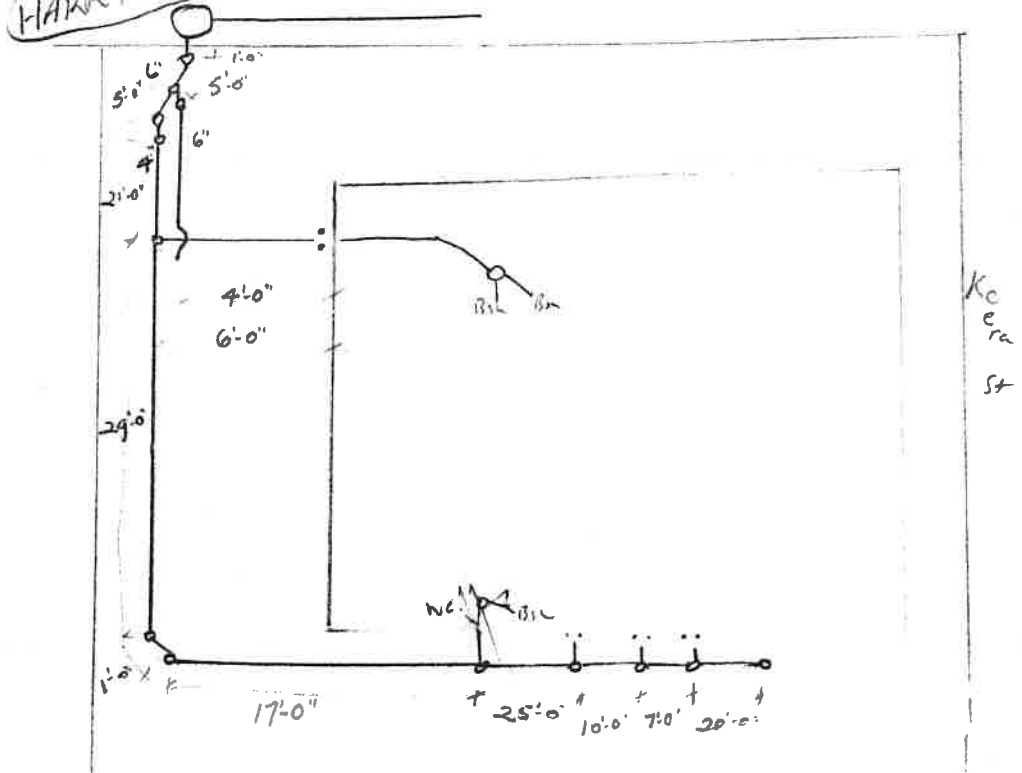
Note:
 G.W. - Glass Washer
 I.M. - Ice Maker

M. G. Hamilton
 Sewerage Inspector
 24th AUGUST 1971

Harry Sheehan Golf Club
Bombelli St. of Kerala

23.2.71

26.2.71



156
3.10.